

**PROPOSED AREAS:**

LOT NO:	1	2	3	4	5	6	7
GARAGE	378	378	378	370	370	370	394
1ST FLOOR AREA	303	268	268	391	391	391	460
2ND FLOOR AREA	660	660	660	803	822	803	874
3RD FLOOR AREA	740	740	740	938	938	938	1025
FLOOR AREA:	1,703	1668	1668	2132	2151	2132	2132
1ST FLOOR COVERED ENTRY:	13	13	13	56	56	56	92
2ND FLOOR COVERED BALCONY:	59	59	59	87	87	87	134
COVERED AREA TOTAL:	72	72	72	143	143	143	226
LOT AREA: (S.F.)	2825	1233	1810.6	2156.2	1522.6	1522.6	2404
FAR: FLOOR AREA / LOT AREA	1703/ = .60	1668/ = 1.4	1668/ = .92	2132/ = .99	2151/ = 1.45	2132/ = 1.41	2132/ = .89
LOT COVERAGE: (S.F)	930	891	891	1113	1092	1092	1201
LOT COVERAGE / LOT AREA:	.33	.72	.49	.52	.72	.72	.50

12.03 DEFINITION  
FLOOR AREA (AMENDED BY ORD. NO. 182,386, EFF. 3/13/13). THE AREA IN SQUARE FEET CONFINED WITHIN THE EXTERIOR WALLS OF A BUILDING, BUT NOT INCLUDING THE AREA OF THE FOLLOWING: EXTERIOR WALLS, STAIRWAYS, SHAFTS, ROOMS HOUSING BUILDING-OPERATING EQUIPMENT OR MACHINERY, PARKING AREAS WITH ASSOCIATED DRIVEWAYS AND RAMPS, SPACE DEDICATED TO BICYCLE PARKING, SPACE FOR THE LANDING AND STORAGE OF HELICOPTERS, AND BASEMENT STORAGE AREAS.

FLOOR AREA RATIO (FAR). A RATIO ESTABLISHING RELATIONSHIP BETWEEN A PROPERTY AND THE AMOUNT OF DEVELOPMENT PERMITTED FOR THAT PROPERTY, AND IS EXPRESSED AS A PERCENTAGE OR A RATIO OF THE BUILDABLE AREA OR LOT SIZE (EXAMPLE: "3 TIMES THE BUILDABLE AREA" OR "3:1"). (ADDED BY ORD. NO. 181,624, EFF. 5/9/11).

**LEGEND:**

(N) NEW CONSTRUCTION

(N) 2 CAR GARAGE

(N) 1ST FLOOR LIVING

(N) 2ND FLOOR LIVING

(N) 3RD FLOOR LIVING

(N) LANDSCAPING

(N) WALKWAY PER CIVIL

PATH TO ENTRY

# 7 SMALL LOT SUBDIVISION

## 7665 MACHREA ST. LOS ANGELES, CA 91042

**SCOPE OF WORK:**

- DEMOLISH EXISTING 4 BED, 1 BATH 1,444 S.F. SINGLE FAMILY RESIDENCE & 220 S.F. DETACHED GARAGE.
- 7 NEW SMALL LOT SUBDIVISIONS.

**SHEET INDEX:**

SHEET NO.	SHEET TITLE	ISSUE (SEE BOTTOM OF SHEET)			
GENERAL		A	B	C	D
G-101	COVER SHEET, DWG INDEX, PROJECT INFO	X			
G-102	SURVEY	X			
G-103	LOT COVERAGE DIAGRAM	X			
G-111	1ST FLOOR AREA DIAGRAM	X			
G-112	2ND FLOOR AREA DIAGRAM	X			
G-113	3RD FLOOR AREA DIAGRAM	X			
G-201	PROJECT NOTES, DETERMINATION LETTER, ETC.	X			
ARCHITECTURAL					
A-111	1ST FLOOR PLAN	X			
A-112	2ND FLOOR PLAN	X			
A-113	3RD FLOOR PLAN	X			
A-131	ROOF FLOOR PLAN	X			
A-201	EXTERIOR ELEVATIONS	X			
A-202	EXTERIOR ELEVATIONS	X			
A-203	EXTERIOR ELEVATIONS	X			
A-301	BUILDING SECTIONS	X			
A-601	WINDOW & DOOR SCHEDULE	X			

**APPLICABLE CODES:**

- 2020 CITY OF LOS ANGELES BUILDING CODE (LABC).
- 2020 CITY OF LOS ANGELES RESIDENTIAL CODE (LARC).
- 2020 CITY OF LOS ANGELES GREEN BUILDING CODE (LAGBC).
- 2020 CITY OF LOS ANGELES PLUMBING CODE (LAPC).
- 2020 CITY OF LOS ANGELES MECHANICAL CODE (LAMC).
- 2019 CALIFORNIA FIRE CODE (CFC).

**LEGAL DESCRIPTION:**

LOT(S) & ARB(S)	BLOCK	TRACT(S)
LOT # 10	-	NO. 14078
APN #	2558-002-015	

**ZONING INFO:**

LOT AREA:	13,473.90 S.F.
EXISTING & PROPOSED ZONE:	RD3-1
GENERAL PLAN LAND USE:	LOW MEDIUM 1 RESIDENTIAL
EXISTING USE:	SINGLE FAMILY RESIDENCE WITH DETACHED GARAGE
PROPOSED USE:	7 NEW SMALL LOT ** (4 BY RIGHT LOTS + 3 DENSITY BONUS LOTS) (1 OF 7 TO BE LOW INCOME)
PARKING:	2 EACH, TOTAL 14
COMMON OPEN SPACE: (NOT REQUIRED UNDER 20 UNITS)	1,250 S.F.
HARDSCAPE AREA:	1,736 S.F.
LANDSCAPE AREA:	1,140 S.F.

\*\*13,473.90 S.F. LOT / 3,000 = 4.49 BY RIGHT UNITS.  
-PROPOSING LOW INCOME PER 12.22A25.C. - WE ROUND UP 4.49 TO 5 UNITS.  
-TO ACHIEVE A DENSITY BONUS OF 21.5%, WE MUST PROVIDE 11% LOW INCOME UNITS.  
-THEREFORE, 5 UNITS X 21.5% DENSITY BONUS IS 6.075-ROUNDED UP TO 7 TOTAL UNITS.  
-11% OF THE 7 UNITS NEED TO BE LOW INCOME = .77 ROUNDED UP TO 1 UNIT LOW INCOME.  
7 TOTAL UNITS, 1 OF WHICH NEEDS TO BE LOW INCOME.

**LANDSCAPING LEGEND:**

BOTANICAL NAME / COMMON NAME	SIZE	QTY.	-
FIGUS FUMILA, CREEPING FIG	1 GAL @ 10" O.C.	40	-
PARKINSONIA DESERT MUSEUM, PALO VERDE	48 BOX.	-	-
DODONAEA VISCOSA, BROCADEAF HIBISCUS	15 GAL	4	-
ALYOGYNE HUEGELII, BLUE HIBISCUS	5 GAL	13	-
SENECIO SERPENS	FLAT	AS NEEDED	-

**VICINITY MAP:**

CITY OF LOS ANGELES, DEPARTMENT OF BUILDING AND SAFETY  
PLAN CHECK APPROVED FOR ZONING ONLY  
BY: JASON BRAVO  
DATE: 6/8/2023  
APPLICATION #: 23010-10000-01612

**PROJECT TEAM:**

**ARMENARC**  
1812 W. BURBANK BLVD #148  
BURBANK, CA 91506  
C.818.434.2250  
ARMEN@ARMENARC.COM

**ARMEN TUTUNJIAN**  
C-37832  
STATE OF CALIFORNIA

**PROPERTY OWNER:**  
NERSES YARLIANYAN  
7665 MACHREA ST.  
LOS ANGELES, CA 91042  
(818) 406-1935  
NERO-Y@INBOX.RU

**CIVIL ENGINEER:**  
TLC. TECHNICAL LAND CO. INC.  
HAYK MARTIROSIAN  
1545 N. VERDUGO RD. #2  
GLENDALE, CA 91208  
(818) 547-0543  
HAYK@TECHNICALAND.COM

**PROJECT TITLE:**  
MACHREA  
7 SMALL LOT SFR

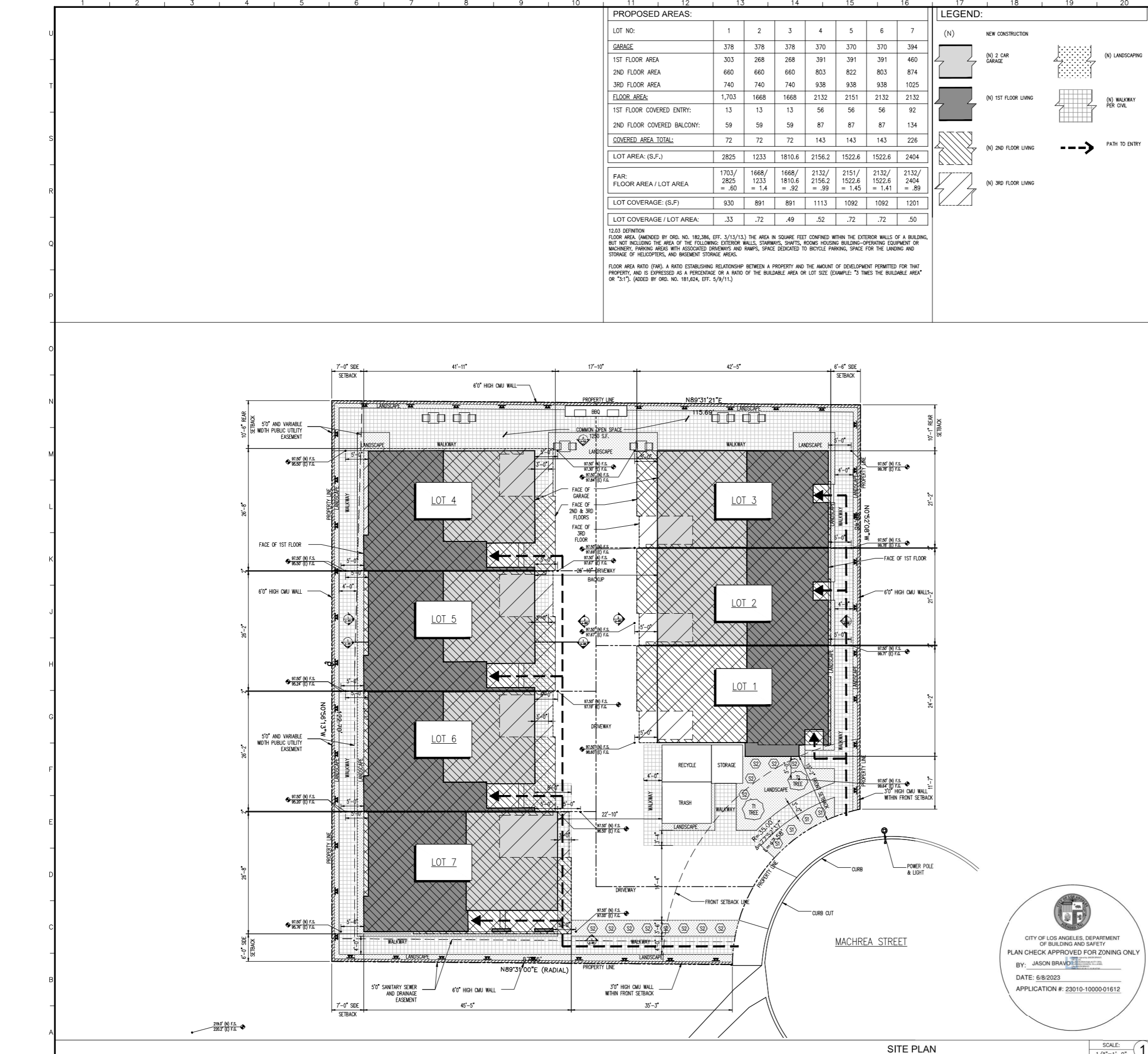
**PROJECT ADDRESS:**  
7665 MACHREA ST.  
LOS ANGELES, CA 91042

NO. ISSUED FOR:

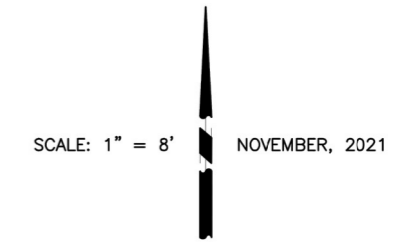
JOB NO.: 20034  
DRAWN BY: A.T.  
CHECKED BY: A.T.  
DATE: 05-17-23

**SHEET DESCRIPTION:**  
SITE PLAN  
COVER SHEET

SHEET NUMBER:  
**G-101**



# TOPOGRAPHIC SURVEY



LEGAL DESCRIPTION:  
 LOT 10 OF TRACT NO. 14078, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 292, PAGES 49 AND 50 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

FOR:  
 NERSES YARIJANYAN  
 12422 BROMWICH ST.  
 PACOIMA, CA 91331

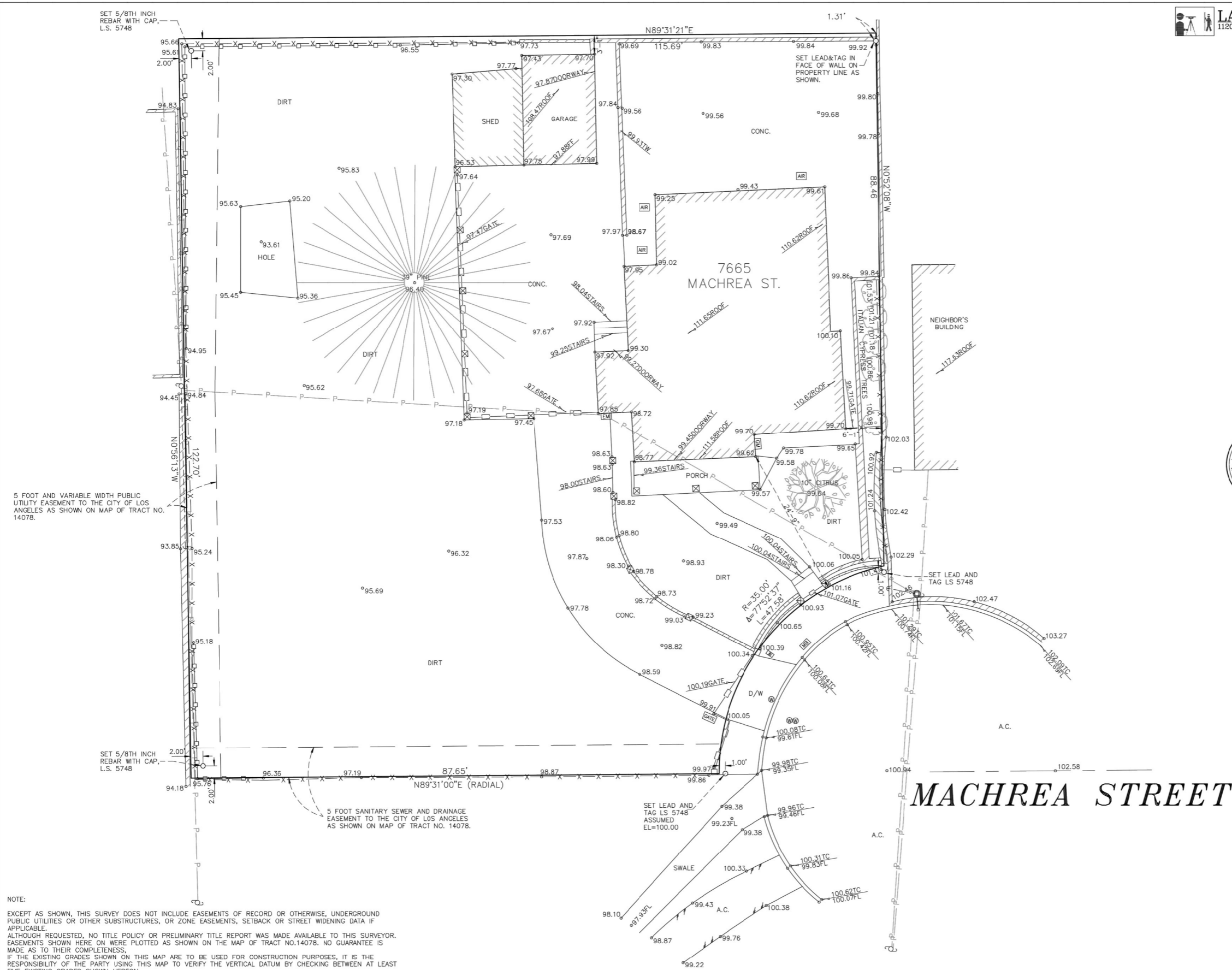


BY: *Lawrence J. SchmahL*  
 LAWRENCE J. SCHMAHL      L.S. 5748

**LEGEND:**

A.C.	ASPHALT CONCRETE
BW	BACK OF WALK
CONC.	CONCRETE
E	EAST
FF	FINISHED FLOOR
FL	FLOWLINE
N	NORTH
S	SOUTH
TC	TOP OF CURB
TG	TOP OF GRATE
TW	TOP OF WALL
W	WEST
	BUILDING LINE
	CENTERLINE
	EDGE OF PAVEMENT
	ELECTRIC METER
	FENCE, CHAIN-LINK
	FENCE, IRON
	FENCE, WOOD
	GAS METER
	GATE MOTOR
	GUY WIRE
	LIGHT POLE
	MAIL BOX
	POWER POLE
	PROPERTY LINE
	SEWER MANHOLE
	SPOT ELEVATIONS
	WALL
	WATER METER
	WATER VALVE

FOR REFERENCE ONLY



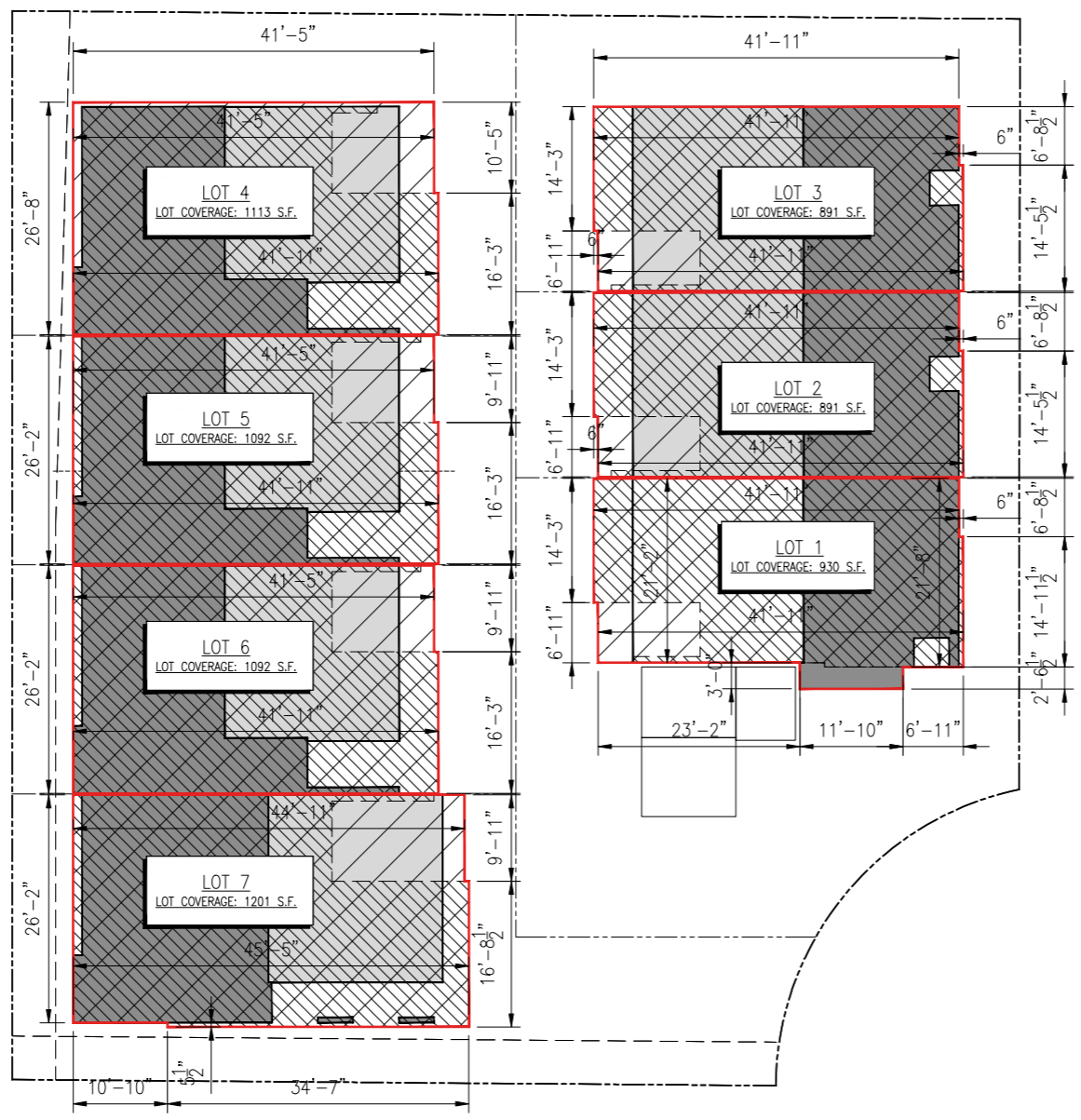
NOTE:  
 EXCEPT AS SHOWN, THIS SURVEY DOES NOT INCLUDE EASEMENTS OF RECORD OR OTHERWISE, UNDERGROUND PUBLIC UTILITIES OR OTHER SUBSTRUCTURES, OR ZONE EASEMENTS, SETBACK OR STREET WIDENING DATA IF APPLICABLE.  
 ALTHOUGH REQUESTED, NO TITLE POLICY OR PRELIMINARY TITLE REPORT WAS MADE AVAILABLE TO THIS SURVEYOR. EASEMENTS SHOWN HERE ON WERE PLOTTED AS SHOWN ON THE MAP OF TRACT NO.14078. NO GUARANTEE IS MADE AS TO THEIR COMPLETENESS.  
 IF THE EXISTING GRADES SHOWN ON THIS MAP ARE TO BE USED FOR CONSTRUCTION PURPOSES, IT IS THE RESPONSIBILITY OF THE PARTY USING THIS MAP TO VERIFY THE VERTICAL DATUM BY CHECKING BETWEEN AT LEAST FIVE EXISTING GRADES SHOWN HEREON.  
 IF THE INFORMATION ON THIS MAP IS TO BE INCLUDED IN CONSTRUCTION PLANS, THIS MAP IN ITS ENTIRETY MUST BE MADE A PART OF THOSE CONSTRUCTION PLANS.

U  
T  
S  
R  
Q  
P  
O  
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M  
L  
K  
J  
H  
G  
F  
E  
D  
C  
B  
A

**LEGEND:**

- (N) NEW CONSTRUCTION
- (N) 2 CAR GARAGE
- (N) 1ST FLOOR LIVING
- (N) 2ND FLOOR LIVING
- (N) 3RD FLOOR LIVING
- OUTLINE OF BUILDING FOOTPRINT FOR LOT COVERAGE
- (N) LANDSCAPING
- (N) WALKWAY PER CIVIL
- PATH TO ENTRY

SEE "PROPOSED AREAS" TABLE ON G-101 FOR LOT COVERAGE RATIO.



LOT COVERAGE DIAGRAM

SCALE: 1/8"=1'-0" 1

PROJECT TEAM:

**ARMENARC**  
1812 W. BURBANK BLVD #148  
BURBANK, CA 91506  
C.818.434.2250  
ARMEN@ARMENARC.COM

AS INSTRUMENT OF SERVICE, ALL DESIGN IDEAS AND INFORMATION SHOWN ON THESE DRAWINGS ARE AND SHALL REMAIN THE PROPERTY OF THE CORPORATION AND SHALL NOT BE REPRODUCED, COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF ARMENARC. VISUAL CONTACT WITH THESE DRAWINGS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

**PROPERTY OWNER:**  
NERSES YARLIANYAN  
7665 MACHREA ST.  
LOS ANGELES, CA 91042  
(818) 406-1935  
NERO-Y@INBOX.RU

**CIVIL ENGINEER:**  
TLC. TECHNICAL LAND CO., INC.  
HAYK MARTIROSIAN  
1545 N. VERDUGO RD., #2  
GLENDALE, CA 91208  
(818) 547-0543  
HAYK@TECHNICALAND.COM

PROJECT TITLE:  
**MACHREA  
7 SMALL LOT SFR**

PROJECT ADDRESS:  
7665 MACHREA ST.  
LOS ANGELES, CA 91042

NO.	ISSUED FOR:

JOB NO.:	20034
DRAWN BY:	A.T.
CHECKED BY:	A.T.
DATE:	05-17-23

SHEET DESCRIPTION:  
LOT COVERAGE DIAGRAM

SHEET NUMBER:  
**G-103**

CITY OF LOS ANGELES, DEPARTMENT OF BUILDING AND SAFETY  
PLAN CHECK APPROVED FOR ZONING ONLY  
BY: JASON BRAVO  
DATE: 6/8/2023  
APPLICATION #: 22010-10000-01612



FIRST FLOOR AREA DIAGRAM

SEE "PROPOSED AREAS" TABLE ON G-101 FOR AREA TOTALS OF ALL FLOORS AND FAR.



**PROJECT TEAM:**

**ARMENARC**  
 1812 W. BURBANK BLVD #148  
 BURBANK, CA 91506  
 C.818.434.2250  
 ARMEN@ARMENARC.COM

**ARMEN TUNUNJIAN**  
 LICENSED ARCHITECT  
 C-37632  
 STATE OF CALIFORNIA

NO INSTRUMENT OF SERVICE, ALL DESIGN IDEAS AND INFORMATION SHOWN ON THESE DRAWINGS ARE AND SHALL REMAIN THE PROPERTY OF THE CORPORATION ARMENARC. NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF ARMENARC. VISUAL CONTACT WITH THESE DRAWINGS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

**PROPERTY OWNER:**  
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 LOS ANGELES, CA 91042  
 (818) 406-1935  
 NERO-Y@INBOX.RU

**CIVIL ENGINEER:**  
 T.L.C. TECHNICAL LAND CO., INC.  
 HAYK MARTIROSIAN  
 1545 N. VERDUGO RD., #2  
 GLENDALE, CA 91208  
 (818) 547-0543  
 HAYK@TECHNICALAND.COM

**PROJECT TITLE:**  
 MACHREA  
 7 SMALL LOT SFR

**PROJECT ADDRESS:**  
 7665 MACHREA ST.  
 LOS ANGELES, CA 91042

NO.	ISSUED FOR:

**JOB NO.:** 20034  
**DRAWN BY:** A.T.  
**CHECKED BY:** A.T.  
**DATE:** 05-17-23  
**SHEET DESCRIPTION:**  
 FIRST FLOOR AREA DIAGRAM

**SHEET NUMBER:**  
**G-111**



SEE "PROPOSED AREAS" TABLE ON G-101 FOR AREA TOTALS OF ALL FLOORS AND FAR.

PROJECT TEAM:  
**ARMENARC**  
 1812 W. BURBANK BLVD #148  
 BURBANK, CA 91506  
 C.818.434.2250  
 ARMEN@ARMENARC.COM



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PROPERTY OWNER:  
 NERSES YARLIJANYAN  
 7665 MACHREA ST.  
 LOS ANGELES, CA 91042  
 (818) 406-1935  
 NERO-Y@INBOX.RU

CIVIL ENGINEER:  
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PROJECT TITLE:  
**MACHREA  
 7 SMALL LOT SFR**

PROJECT ADDRESS:  
 7665 MACHREA ST.  
 LOS ANGELES, CA 91042

NO.	ISSUED FOR:

JOB NO.:	20034
DRAWN BY:	A.T.
CHECKED BY:	A.T.
DATE:	05-17-23

SHEET DESCRIPTION:  
 SECOND FLOOR AREA DIAGRAM

SHEET NUMBER:  
**G-112**



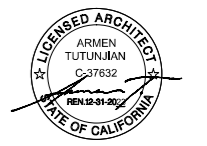
SECOND FLOOR AREA DIAGRAM

SCALE:  
 1/4"=1'-0" 1



SEE "PROPOSED AREAS" TABLE ON G-101 FOR AREA TOTALS OF ALL FLOORS AND FAR.

PROJECT TEAM:  
**ARMENARC**  
 1812 W. BURBANK BLVD #148  
 BURBANK, CA 91506  
 C.818.434.2250  
 ARMEN@ARMENARC.COM



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PROPERTY OWNER:  
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 LOS ANGELES, CA 91042  
 (818) 406-1935  
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CIVIL ENGINEER:  
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 HAYK MARTIROSIAN  
 1545 N. VERDUGO RD. #2  
 GLENDALE, CA 91208  
 (818) 547-0543  
 HAYK@TECHNICALAND.COM

PROJECT TITLE:  
**MACHREA  
 7 SMALL LOT SFR**

PROJECT ADDRESS:  
 7665 MACHREA ST.  
 LOS ANGELES, CA 91042

NO.	ISSUED FOR:

JOB NO.:	20034
DRAWN BY:	A.T.
CHECKED BY:	A.T.
DATE:	05-17-23

SHEET DESCRIPTION:  
 THIRD FLOOR AREA DIAGRAM

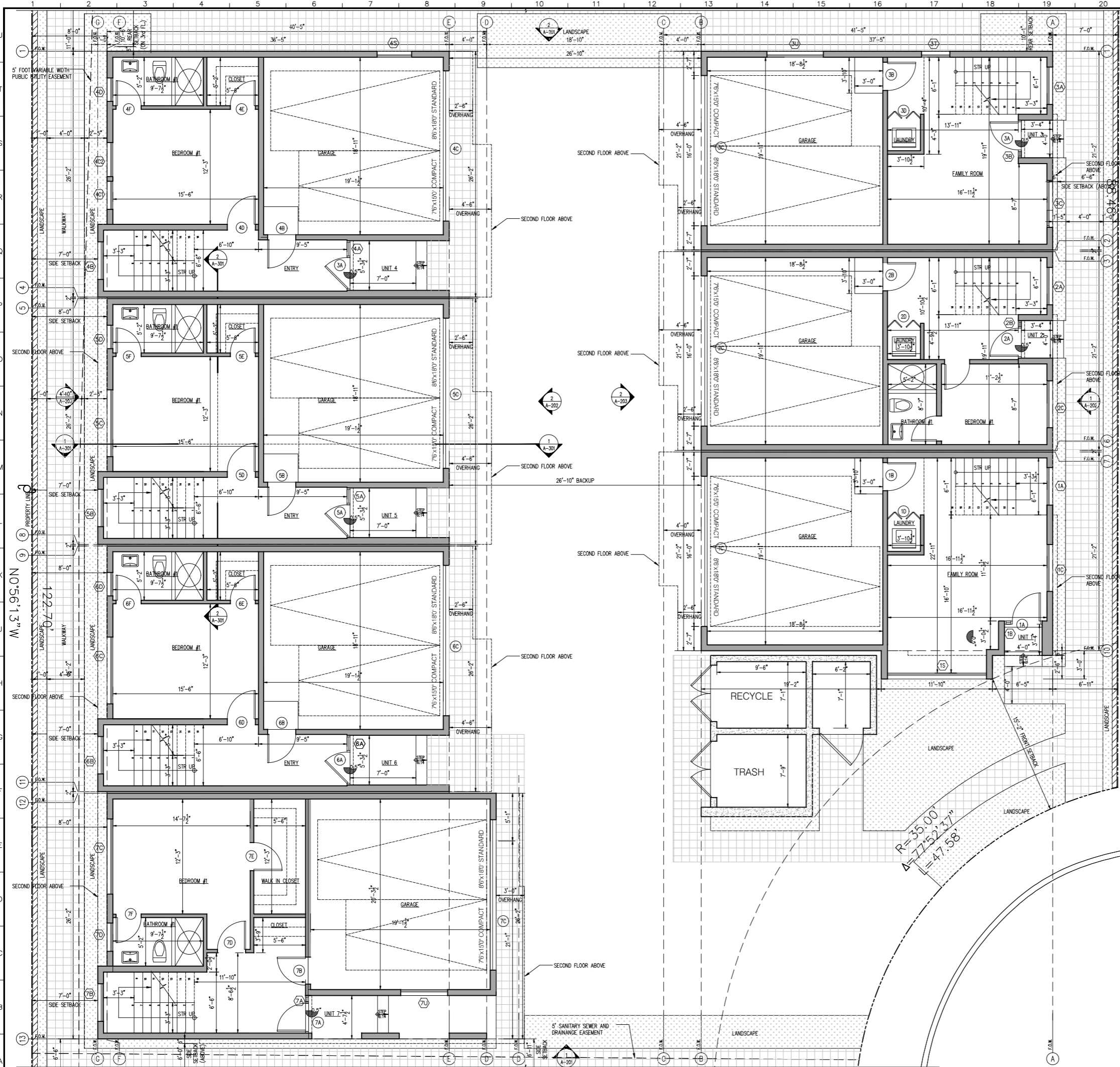
SHEET NUMBER:  
**G-113**



THIRD FLOOR AREA DIAGRAM

SCALE:  
 1/4"=1'-0"





- NOTES:**
- PROVIDE ULTRA LOW FLUSH WATER CLOSET FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION. ALL NEWLY INSTALLED PLUMBING FIXTURES SHALL COMPLY WITH TABLE 9.303.2.
  - MINIMUM 70" HOT, NON-ABSORBENT WALL (TILE) REQUIRED ADJACENT TO SHOWER AND APPROVED SHATTER-RESISTANT MATERIALS SHALL BE PROVIDED FOR SHOWER ENCLOSURE.
  - ALL NEW WINDOWS SHALL BE DOUBLE PANE UNLESS OTHERWISE NOTED.
  - PROVIDE FIBER GLASS BATT INSULATION IN NEW AREAS AS FOLLOWS:
    - R-13 IN ALL NEW STUD WALLS
    - R-30 IN ROOF - WITH ATTIC
    - R-19 IN RAISED FLOOR
  - INSTALL GFCI OUTLETS IN NEW BATHROOMS
  - SMOKE DETECTORS SHALL BE PROVIDED AS FOLLOWS:
    - IN NEW CONSTRUCTION SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK-UP AND LOW BATTERY SIGNAL. SMOKE DETECTORS SHALL BE LOCATED IN EACH SLEEPING ROOM, HALLWAY AND AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLING WITH MORE THAN ONE STORY
    - IN EXISTING CONSTRUCTION SMOKE DETECTORS MAY BE BATTERY OPERATED, INSTALLED IN LOCATIONS AS SPECIFIED ABOVE.
  - CARBON MONOXIDE DETECTOR. INSTALL CARBON MONOXIDE DETECTOR IN THE LIVING SPACE NEAR THE BEDROOM. DETECTORS ARE REQUIRED IN DWELLINGS WHERE FUEL BURNING APPLIANCES ARE INSTALLED. CARBON MONOXIDE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING ELECTRICAL AND HAVE A BATTERY BACKUP. CARBON MONOXIDE DETECTORS SHALL COMPLY WITH UL2034 AND/OR NFPA 720. CO DETECTORS SHALL BE INSTALLED A MINIMUM OF FIVE (5) FEET ABOVE FINISH GRADE. CA RESIDENTIAL CODE 2016 CHAPTER 3 SEC. 315
  - WATER HEATER MUST BE SEISMIC STRAPPED TO WALL IN TWO PLACES, ONE IN THE UPPER 1/3 OF THE TANK. THE LOWER POINT SHALL BE A MINIMUM OF 4 INCHES ABOVE THE CONTROLS. A T&T VALVE PIPE TO THE EXTERIOR. A MINIMUM 50 SQ. INCHES VENT. IN THE TOP & BOTTOM OF THE W/H COMPARTMENT.
  - PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R306.3).
  - KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4).
  - BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).
  - ALL NEWLY INSTALLED PLUMBING FIXTURES SHALL COMPLY WITH TABLE 9.303.2
  - EACH NEW APPLIANCE PROVIDED SHALL BE "ENERGY STAR" COMPLIANT.
  - HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 88°F AT A POINT 3 FEET ABOVE THE FLOOR AND 10 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE. (R303.8)
  - BATHROOM EXHAUST FAN SHALL COMPLY WITH THE FOLLOWING:
    - FANS BE "ENERGY STAR" COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
    - FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.
  - THE PANEL OR SUB-PANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE
  - THE SERVICE PANEL OR SUB-PANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING AS EX CAPABLE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED "EV CAPABLE".
  - BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (R319.1)
  - PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R317.1 BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVES AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.
  - PROVIDE ANTI-CRACK FINISH WITHIN THE FIRST 9 FT., MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS.
  - IF ADVERSE SOIL CONDITIONS ARE ENCOUNTERED, A SOILS INVESTIGATION REPORT MAY BE REQUIRED.

- LEGEND:**
- (S.D.) NEW SMOKE DETECTOR SEE NOTE #6.
  - (C.C.) CARBON MONOXIDE DETECTOR SEE NOTE #7
  - (E.F.) EXHAUST FAN CAPABLE OF MINIMUM 50 CFM EXHAUSTING DIRECTLY TO THE OUTSIDE. SEE NOTE #15, CONTROLLED BY HUMIDISTAT. ENERGY STAR COMPLIANT
  - (N) NEW CONSTRUCTION (E) EXISTING CONSTRUCTION
  - (N) 2x 16" O.C. WOOD STUD WALL, U.N.O.
  - (S.C.P.) STAMPED CONCRETE PATTERN

**PROJECT TITLE:**  
MACHREA  
7 SMALL LOT SFR

**PROJECT ADDRESS:**  
7665 MACHREA ST,  
LOS ANGELES, CA 91042

**NO. ISSUED FOR:**

JOB NO.:	20034
DRAWN BY:	A.T.
CHECKED BY:	A.T.
DATE:	05-17-23
SHEET DESCRIPTION:	FIRST FLOOR PLAN
SHEET NUMBER:	

**CITY OF LOS ANGELES, DEPARTMENT OF BUILDING AND SAFETY**  
PLAN CHECK APPROVED FOR ZONING ONLY  
BY: JASON BRAVO  
DATE: 6/8/2023  
APPLICATION #: 23010-10000-01612

**SCALE:**  
1/4" = 1'-0" **1**

**PROJECT TEAM:**

**ARMENARC**  
1812 W. BURBANK BLVD #148  
BURBANK, CA 91506  
C.818.434.2250  
ARMEN@ARMENARC.COM

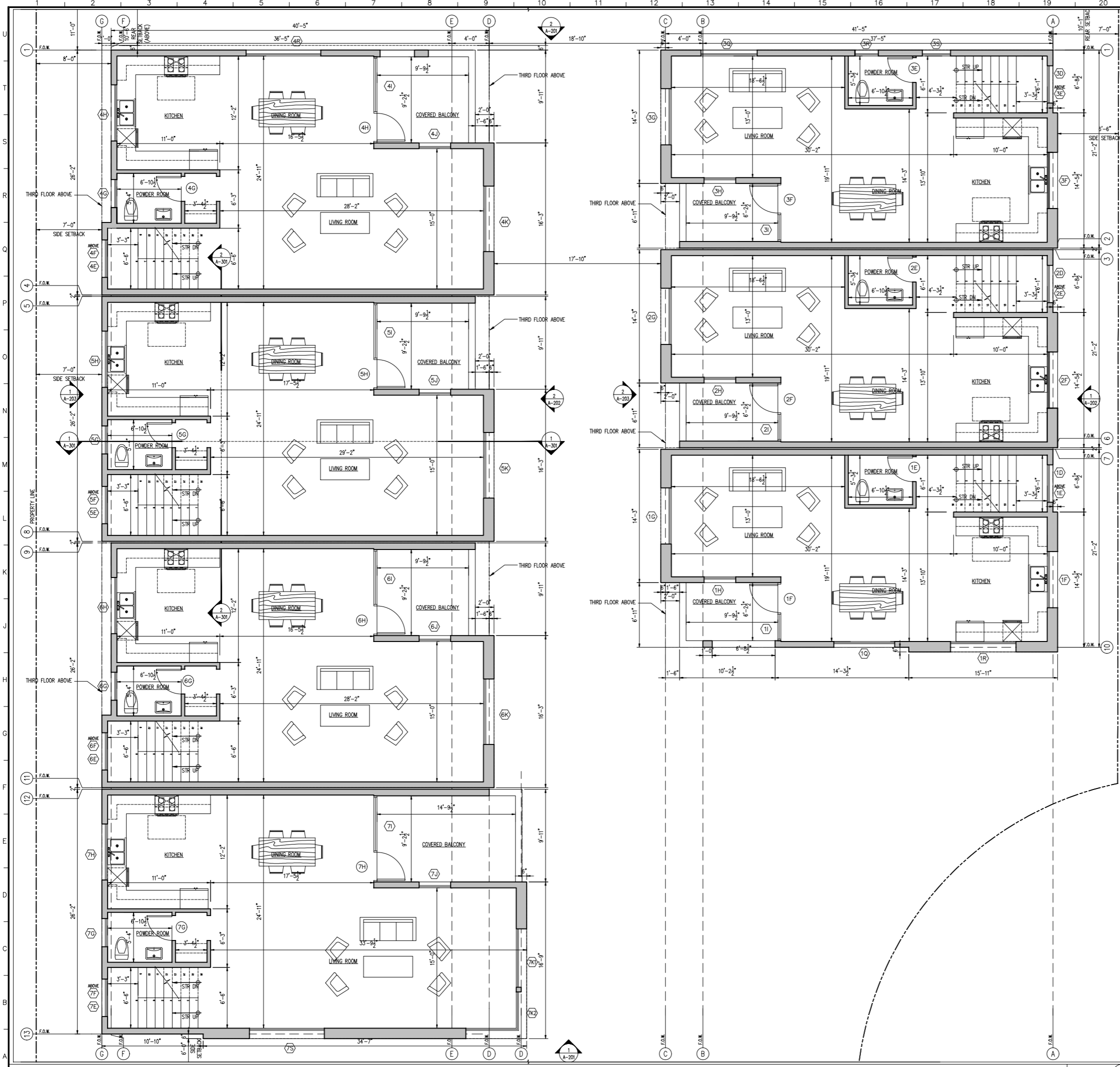
**ARMEN TUTUNJIAN**  
LICENSED ARCHITECT  
STATE OF CALIFORNIA  
C-37832  
REN 12-31-2022

**PROPERTY OWNER:**  
NERSES YARLIANYAN  
7665 MACHREA ST,  
LOS ANGELES, CA 91042  
(818) 406-1935  
NERO-Y@INBOX.RU

**CIVIL ENGINEER:**  
TLC. TECHNICAL LAND CO. INC.  
HAYK MARTIROSIAN  
1545 N. VERDUGO RD., #2  
GLENDALE, CA 91208  
(818) 547-0543  
HAYK@TECHNICALAND.COM

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- NOTES:**
- PROVIDE ULTRA LOW FLUSH WATER CLOSET FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION. ALL NEWLY INSTALLED PLUMBING FIXTURES SHALL COMPLY WITH TABLE 9.303.2.
  - MINIMUM 70° HOT, NON-ABSORBENT WALL (TILE) REQUIRED ADJACENT TO SHOWER AND APPROVED SHATTER-RESISTANT MATERIALS SHALL BE PROVIDED FOR SHOWER ENCLOSURE.
  - ALL NEW WINDOWS SHALL BE DOUBLE PANE UNLESS OTHERWISE NOTED.
  - PROVIDE FIBER GLASS BATT INSULATION IN NEW AREAS AS FOLLOWS:
    - R-13 IN ALL NEW STUD WALLS
    - R-30 IN ROOF WITH ATTIC
    - R-19 IN RAISED FLOOR
  - INSTALL GFCI OUTLETS IN NEW BATHROOMS
  - SMOKE DETECTORS SHALL BE PROVIDED AS FOLLOWS:
    - IN NEW CONSTRUCTION SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK-UP AND LOW BATTERY SIGNAL. SMOKE DETECTORS SHALL BE LOCATED IN EACH SLEEPING ROOM, HALLWAY AND AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLING WITH MORE THAN ONE STORY
    - IN EXISTING CONSTRUCTION SMOKE DETECTORS MAY BE BATTERY OPERATED, INSTALLED IN LOCATIONS AS SPECIFIED ABOVE.
  - CARBON MONOXIDE DETECTOR. INSTALL CARBON MONOXIDE DETECTOR IN THE LIVING SPACE NEAR THE BEDROOM. DETECTORS ARE REQUIRED IN DWELLINGS WHERE FUEL-BURNING APPLIANCES ARE INSTALLED. CARBON MONOXIDE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING ELECTRICAL AND HAVE A BATTERY BACKUP. CARBON MONOXIDE DETECTORS SHALL COMPLY WITH UL2034 AND/OR NFPA 720. CO DETECTORS SHALL BE INSTALLED A MINIMUM OF FIVE (5) FEET ABOVE FINISH GRADE. CA RESIDENTIAL CODE 2016 CHAPTER 3, SEC. 315
  - WATER HEATER MUST BE SEISMIC STRAPPED TO WALL IN TWO PLACES. ONE, IN THE UPPER 1/3 OF THE TANK; THE LOWER PORTION SHALL BE A MINIMUM OF 4 INCHES ABOVE THE CONTROLS. A T&T VALVE PIPE TO THE EXTERIOR. A MINIMUM 50 SQ. INCHES VENT, IN THE TOP & BOTTOM OF THE W/H COMPARTMENT.
  - PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R306.3).
  - KITCHEN SINKS, LAVATORIES, BATHROOMS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4).
  - BATHROOM AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).
  - ALL NEWLY INSTALLED PLUMBING FIXTURES SHALL COMPLY WITH TABLE 9.303.2
  - EACH NEW APPLIANCE PROVIDED SHALL BE "ENERGY STAR" COMPLIANT.
  - HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 88°F AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE. (R303.8)
  - BATHROOM EXHAUST FAN SHALL COMPLY WITH THE FOLLOWING:
    - FANS BE "ENERGY STAR" COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
    - FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.
  - THE PANEL OR SUB-PANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE
  - THE SERVICE PANEL OR SUB-PANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING AS EX-CAPABLE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED "EV CAPABLE".
  - BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (R319.1)
  - PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R317.1 BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVES AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.
  - PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FIRST 9 FT., MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS.
  - IF ADVERSE SOIL CONDITIONS ARE ENCOUNTERED, A SOILS INVESTIGATION REPORT MAY BE REQUIRED.

- LEGEND:**
- NEW SMOKE DETECTOR SEE NOTE #6.
  - S.D. CARBON MONOXIDE DETECTOR SEE NOTE #7
  - C.C. EXHAUST FAN CAPABLE OF MINIMUM 50 CFM EXHAUSTING DIRECTLY TO THE OUTSIDE. SEE NOTE #15, CONTROLLED BY HUMIDISTAT. ENERGY STAR COMPLIANT
  - (N) NEW CONSTRUCTION (E) EXISTING CONSTRUCTION
  - (N) 2x 16" O.C. WOOD STUDWALL, U.N.O.
  - STAMPED CONCRETE PATTERN

**PROJECT TITLE:**  
MACHREA  
7 SMALL LOT SFR

**PROJECT ADDRESS:**  
7665 MACHREA ST,  
LOS ANGELES, CA 91042

NO.	ISSUED FOR:

**JOB NO.:** 20034  
**DRAWN BY:** A.T.  
**CHECKED BY:** A.T.  
**DATE:** 05-17-23  
**SHEET DESCRIPTION:** SECOND FLOOR PLAN  
**SHEET NUMBER:**

CITY OF LOS ANGELES, DEPARTMENT OF BUILDING AND SAFETY  
 PLAN CHECK APPROVED FOR ZONING ONLY  
 BY: JASON BRAVO  
 DATE: 6/8/2023  
 APPLICATION #: 23010-10000-01612

**PROJECT TEAM:**

**ARMENARC**  
 1812 W. BURBANK BLVD #148  
 BURBANK, CA 91506  
 C.818.434.2250  
 ARMEN@ARMENARC.COM

**ARMEN TUTUNJIAN**  
 LICENSED ARCHITECT  
 STATE OF CALIFORNIA  
 C-37832  
 EXP. 12-31-2025

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**PROPERTY OWNER:**  
 NERSES YARLIANYAN  
 7665 MACHREA ST,  
 LOS ANGELES, CA 91042  
 (818) 406-1935  
 NERO-Y@INBOX.RU

**CIVIL ENGINEER:**  
 T.L.C. TECHNICAL LAND CO, INC.  
 HAYK MARTIROSIAN  
 1545 N. VERDUGO RD., #2  
 GLENDALE, CA 91208  
 (818) 547-0543  
 HAYK@TECHNICALAND.COM

**PROJECT TITLE:**  
MACHREA  
7 SMALL LOT SFR

**PROJECT ADDRESS:**  
7665 MACHREA ST,  
LOS ANGELES, CA 91042

**JOB NO.:** 20034  
**DRAWN BY:** A.T.  
**CHECKED BY:** A.T.  
**DATE:** 05-17-23  
**SHEET DESCRIPTION:** SECOND FLOOR PLAN  
**SHEET NUMBER:**

**A-112**



- NOTES:**
- PROVIDE ULTRA LOW FLUSH WATER CLOSET FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION. ALL NEWLY INSTALLED PLUMBING FIXTURES SHALL COMPLY WITH TABLE 9.303.2.
  - MINIMUM 70" HOT, NON-ABSORBENT WALL (TILE) REQUIRED ADJACENT TO SHOWER AND APPROVED SHATTER-RESISTANT MATERIALS SHALL BE PROVIDED FOR SHOWER ENCLOSURE.
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  - PROVIDE ANTI-CRACK FINISH WITHIN THE FIRST 9 FT., MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS.
  - IF ADVERSE SOIL CONDITIONS ARE ENCOUNTERED, A SOILS INVESTIGATION REPORT MAY BE REQUIRED.

- LEGEND:**
- NEW SMOKE DETECTOR SEE NOTE #6.
  - S.D.
  - C.O.
  - CARBON MONOXIDE DETECTOR SEE NOTE #7
  - EXHAUST FAN CAPABLE OF MINIMUM 50 CFM EXHAUSTING DIRECTLY TO THE OUTSIDE. SEE NOTE #15, CONTROLLED BY HUMIDISTAT. ENERGY STAR COMPLIANT
  - (N) NEW CONSTRUCTION (E) EXISTING CONSTRUCTION
  - (N) 2X @ 16" O.C. WOOD STUD WALL, U.N.O.
  - STAMPED CONCRETE PATTERN

**PROJECT TITLE:**  
MACHREA  
7 SMALL LOT SFR

**PROJECT ADDRESS:**  
7665 MACHREA ST,  
LOS ANGELES, CA 91042

NO.	ISSUED FOR:

**JOB NO.:** 20034  
**DRAWN BY:** A.T.  
**CHECKED BY:** A.T.  
**DATE:** 05-17-23

**SHEET DESCRIPTION:**  
THIRD FLOOR PLAN

**SHEET NUMBER:**



THIRD FLOOR PLAN

SCALE:  
1/4"=1'-0"

**PROJECT TEAM:**

**ARMENARC**  
1812 W. BURBANK BLVD #148  
BURBANK, CA 91506  
C.818.434.2250  
ARMEN@ARMENARC.COM

**ARMEN TUTUNJIAN**  
LICENSED ARCHITECT  
No. C-37832  
EXPIRES 12-31-2025  
STATE OF CALIFORNIA

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**PROPERTY OWNER:**  
NERSES YARLIANYAN  
7665 MACHREA ST,  
LOS ANGELES, CA 91042  
(818) 406-1935  
NERO-Y@INBOX.RU

**CIVIL ENGINEER:**  
TLC. TECHNICAL LAND CO, INC.  
HAYK MARTIROSIAN  
1545 N. VERDUGO RD. #2  
GLENDALE, CA 91208  
(818) 547-0543  
HAYK@TECHNICALAND.COM

**PROJECT TITLE:**  
MACHREA  
7 SMALL LOT SFR

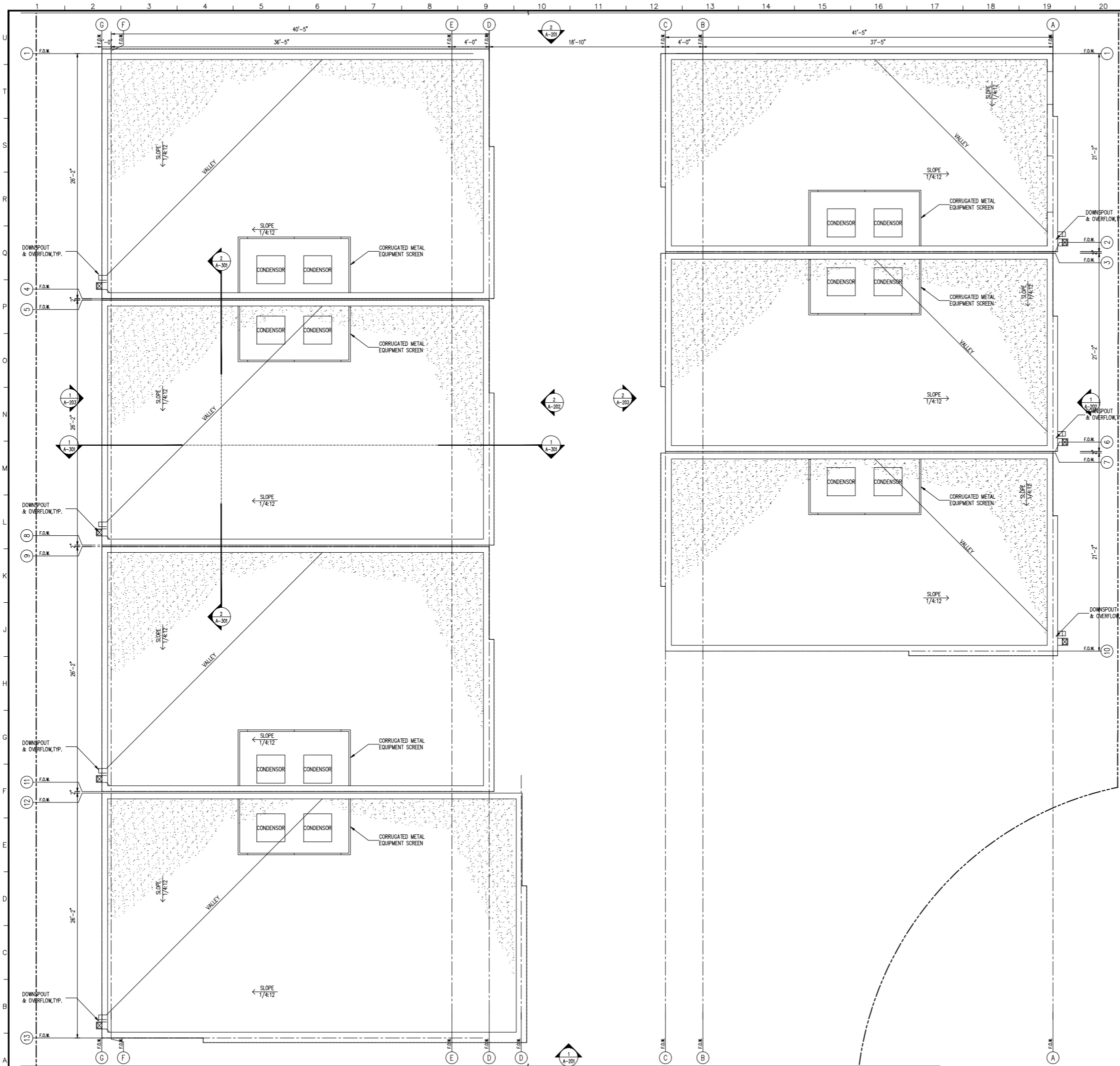
**PROJECT ADDRESS:**  
7665 MACHREA ST,  
LOS ANGELES, CA 91042

**JOB NO.:** 20034  
**DRAWN BY:** A.T.  
**CHECKED BY:** A.T.  
**DATE:** 05-17-23

**SHEET DESCRIPTION:**  
THIRD FLOOR PLAN

**SHEET NUMBER:**

**A-113**



**LEGEND:**  
 60 MIL SLATE GRAY SURE-WELD TPO REINFORCED MEMBRANE  
 O/ 1/4" DECK-CLASS A MIN.  
 ICC ESR #1463. INSTALL PER MANUFACTURERS RECOMMENDATION & ICC REPORT, OR EQUAL.

PROJECT TEAM:  
**ARMENARC**  
 1812 W. BURBANK BLVD #148  
 BURBANK, CA 91506  
 C.818.434.2250  
 ARMEN@ARMENARC.COM

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 LOS ANGELES, CA 91042  
 (818) 406-1935  
 NERO-Y@INBOX.RU

**CIVIL ENGINEER:**  
 T.L.C. TECHNICAL LAND CO., INC.  
 HAYK MARTIROSIAN  
 1545 N. VERDUGO RD., #2  
 GLENDALE, CA 91208  
 (818) 547-0543  
 HAYK@TECHNICALAND.COM

PROJECT TITLE:  
**MACHREA 7 SMALL LOT SFR**

PROJECT ADDRESS:  
 7665 MACHREA ST.  
 LOS ANGELES, CA 91042

NO.	ISSUED FOR:

JOB NO.:	20034
DRAWN BY:	A.T.
CHECKED BY:	A.T.
DATE:	05-17-23
SHEET DESCRIPTION: ROOF PLAN SINGLE FAMILY RESIDENCE	
SHEET NUMBER: <b>A-131</b>	



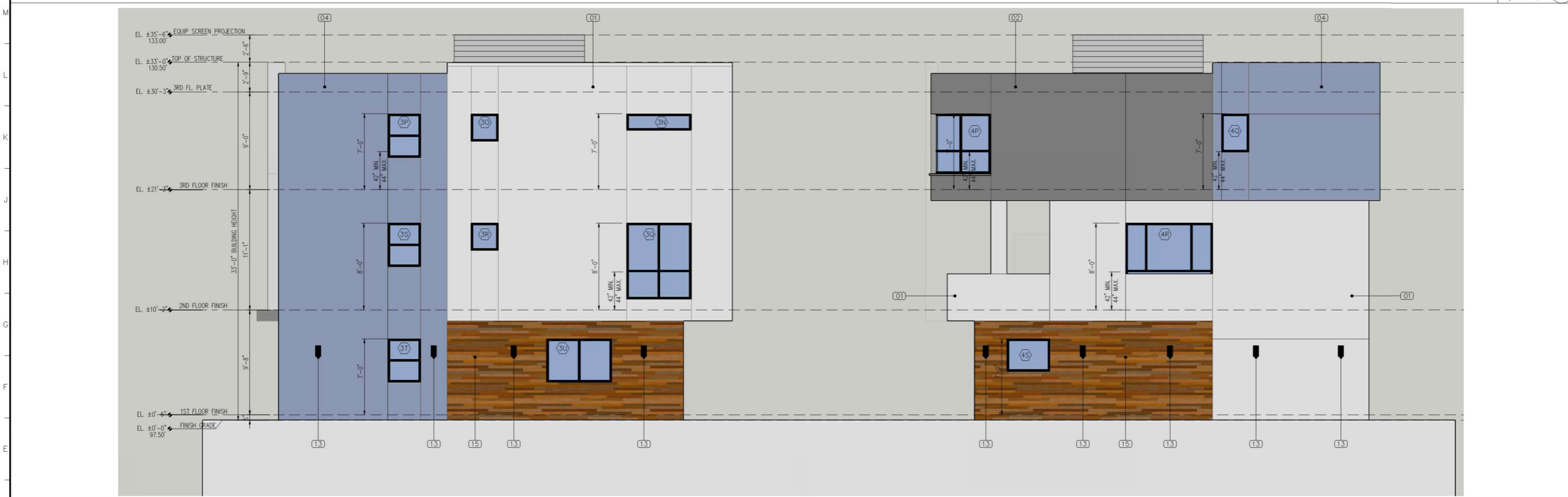
SINGLE FAMILY RESIDENCE ROOF PLAN SCALE: 1/4"=1'-0" 1

File Location: C:\Users\artud\Dropbox\ARMENARC\00000 - Residential\00000 - MFR\00000 - MFR - Los Angeles City\21008 - 7665 Machrea St. Los Angeles, CA 91042\Drawings\A-131 ROOF PLAN.dwg Last Saved: May 17, 2023, by artud Plotted: Thursday, May 18, 2023 2:55:31 PM by artud



SOUTH ELEVATION

SCALE: 1/4"=1'-0" 1



NORTH ELEVATION

SCALE: 1/4"=1'-0" 2



**NOTES:**  
 HEIGHT MEASURED FROM GRADE, AS DEFINED PER DEFINITIONS 12.03, SEE BELOW.  
 GRADE (ADJACENT GROUND LEVEL) IS THE LOWEST POINT OF ELEVATION OF THE FINISHED SURFACE OF THE GROUND, PAVING OR SIDEWALK WITHIN THE AREA BETWEEN THE BUILDING AND THE PROPERTY LINE, OR WHEN THE PROPERTY LINE IS MORE THAN 5 FEET FROM THE BUILDING, BETWEEN THE BUILDING AND A LINE 5 FEET FROM THE BUILDING. THIS DEFINITION DOES NOT APPLY TO ANY BUILDING OR STRUCTURE LOCATED WITHIN THE BOUNDARIES OF THE CENTURY CITY NORTH OR CENTURY CITY SOUTH SPECIFIC PLANS AND WHICH IS SUBJECT TO SECTION 12.21.2 OF THIS CODE. (AMENDED BY ORD. NO. 160,657, EFF. 2/17/86, OPER. 6/17/86.)

**EXTERIOR FINISH SCHEDULE:**

TAG	MATERIAL	COLOR	MANF. / SUPPLIER
13	SLIM 12 DOWNLIGHT	BLACK	RAB LIGHTING OR EQ.
14	ALUMINUM REVERSE CHANNEL ADDRESS NUMBERS	BLACK	TBD
15	COMPOSITE PANEL WITH WOOD FINISH	TIMBER SERIES, TEAK	APOLIC OR EQUAL
16	CORRUGATED METAL EQUIPMENT SCREEN	GREY	ATAS INT. OF EQ.

**EXTERIOR FINISH SCHEDULE:**

TAG	MATERIAL	COLOR	MANF. / SUPPLIER
07	SMOOTH EXTERIOR PLASTER	TURQUOISE	LA HABRA OR EQUAL
08	SMOOTH EXTERIOR PLASTER	BLUE	LA HABRA OR EQUAL
09	SMOOTH EXTERIOR PLASTER	ORANGE	LA HABRA OR EQUAL
10	SMOOTH EXTERIOR PLASTER	RED	LA HABRA OR EQUAL
11	SMOOTH EXTERIOR PLASTER	MAGENTA	LA HABRA OR EQUAL
12	SMOOTH EXTERIOR PLASTER	BLACK	LA HABRA OR EQUAL

**EXTERIOR FINISH SCHEDULE:**

TAG	MATERIAL	COLOR	MANF. / SUPPLIER
01	SMOOTH EXTERIOR PLASTER	WHITE	LA HABRA OR EQUAL
02	SMOOTH EXTERIOR PLASTER	COAL MINER DET613	LA HABRA OR EQUAL
03	SMOOTH EXTERIOR PLASTER	DARK GREY CHARCOAL	LA HABRA OR EQUAL
04	SMOOTH EXTERIOR PLASTER	JADED CLOUDS D5703	LA HABRA OR EQUAL
05	SMOOTH EXTERIOR PLASTER	YELLOW	LA HABRA OR EQUAL
06	SMOOTH EXTERIOR PLASTER	GREEN	LA HABRA OR EQUAL

PROJECT TEAM:  
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PROJECT TITLE:  
**MACHREA  
 7 SMALL LOT SFR**

PROJECT ADDRESS:  
 7665 MACHREA ST.  
 LOS ANGELES, CA 91042

NO. ISSUED FOR:

JOB NO.: 20034  
 DRAWN BY: A.T.  
 CHECKED BY: A.T.  
 DATE: 05-17-23

SHEET DESCRIPTION:  
 ELEVATIONS

SHEET NUMBER:

**A-201**



EAST ELEVATION #1 (UNITS 1,2,3)

SCALE: 1/4"=1'-0" 1



EAST ELEVATION #2 (UNITS 7,6,5,4)

SCALE: 1/4"=1'-0" 2



**NOTES:**  
 HEIGHT MEASURED FROM GRADE, AS DEFINED PER DEFINITIONS 12.03, SEE BELOW.  
 GRADE (ADJACENT GROUND LEVEL) IS THE LOWEST POINT OF ELEVATION OF THE FINISHED SURFACE OF THE GROUND, PAVING OR SIDEWALK WITHIN THE AREA BETWEEN THE BUILDING AND THE PROPERTY LINE, OR WHEN THE PROPERTY LINE IS MORE THAN 5 FEET FROM THE BUILDING, BETWEEN THE BUILDING AND A LINE 5 FEET FROM THE BUILDING. THIS DEFINITION DOES NOT APPLY TO ANY BUILDING OR STRUCTURE LOCATED WITHIN THE BOUNDARIES OF THE CENTURY CITY NORTH OR CENTURY CITY SOUTH SPECIFIC PLANS AND WHICH IS SUBJECT TO SECTION 12.21.2 OF THIS CODE. (AMENDED BY ORD. NO. 160,657, EFF. 2/17/86, OPER. 6/17/86.)

**EXTERIOR FINISH SCHEDULE:**

TAG	MATERIAL	COLOR	MANF. / SUPPLIER
13	SUM 12 DOWNLIGHT	BLACK	RAB LIGHTING OR EQ.
14	ALUMINIUM REVERSE CHANNEL ADDRESS NUMBERS	BLACK	TBD
15	COMPOSITE PANEL WITH WOOD FINISH	TIMBER SERIES, TEAK	APOLIC OR EQUAL
16	CORRUGATED METAL EQUIPMENT SCREEN	GREY	ATAS INT. OF EQ.

**EXTERIOR FINISH SCHEDULE:**

TAG	MATERIAL	COLOR	MANF. / SUPPLIER
07	SMOOTH EXTERIOR PLASTER	TUROQUISE	LA HABRA OR EQUAL
08	SMOOTH EXTERIOR PLASTER	BLUE	LA HABRA OR EQUAL
09	SMOOTH EXTERIOR PLASTER	ORANGE	LA HABRA OR EQUAL
10	SMOOTH EXTERIOR PLASTER	RED	LA HABRA OR EQUAL
11	SMOOTH EXTERIOR PLASTER	MAGENTA	LA HABRA OR EQUAL
12	SMOOTH EXTERIOR PLASTER	BLACK	LA HABRA OR EQUAL

**EXTERIOR FINISH SCHEDULE:**

TAG	MATERIAL	COLOR	MANF. / SUPPLIER
01	SMOOTH EXTERIOR PLASTER	WHITE	LA HABRA OR EQUAL
02	SMOOTH EXTERIOR PLASTER	COAL MINER DET613	LA HABRA OR EQUAL
03	SMOOTH EXTERIOR PLASTER	DARK GREY CHARCOAL	LA HABRA OR EQUAL
04	SMOOTH EXTERIOR PLASTER	JADED CLOUDS D5703	LA HABRA OR EQUAL
05	SMOOTH EXTERIOR PLASTER	YELLOW	LA HABRA OR EQUAL
06	SMOOTH EXTERIOR PLASTER	GREEN	LA HABRA OR EQUAL

PROJECT TEAM:  
**ARMENARC**  
 1812 W. BURBANK BLVD #148  
 BURBANK, CA 91506  
 C.818.434.2250  
 ARMEN@ARMENARC.COM



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**PROPERTY OWNER:**  
 NERSES YARLIANYAN  
 7665 MACHREA ST.  
 LOS ANGELES, CA 91042  
 (818) 406-1935  
 NERO-Y@INBOX.RU

**CIVIL ENGINEER:**  
 T.L.C. TECHNICAL CO., INC.  
 HAYK MARTIROSIAN  
 1545 N. VERDUGO RD. #2  
 GLENDALE, CA 91208  
 (818) 547-0543  
 HAYK@TECHNICALAND.COM

PROJECT TITLE:  
**MACHREA  
 7 SMALL LOT SFR**

PROJECT ADDRESS:  
 7665 MACHREA ST.  
 LOS ANGELES, CA 91042

NO. ISSUED FOR:


JOB NO.: 20034  
 DRAWN BY: A.T.  
 CHECKED BY: A.T.  
 DATE: 05-17-23

SHEET DESCRIPTION:  
**ELEVATIONS**

SHEET NUMBER:  
**A-202**

PROJECT TEAM:  
**ARMENARC**  
1812 W. BURBANK BLVD #148  
BURBANK, CA 91506  
C.818.434.2250  
ARMEN@ARMENARC.COM



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WEST ELEVATION #1 (UNITS 4,5,6,7)

SCALE:  
1/4"=1'-0" 1



WEST ELEVATION #2 (UNITS 3,2,1)

SCALE:  
1/4"=1'-0" 2



**NOTES:**  
HEIGHT MEASURED FROM GRADE, AS DEFINED PER DEFINITIONS 12.03, SEE BELOW.  
GRADE (ADJACENT GROUND LEVEL) IS THE LOWEST POINT OF ELEVATION OF THE FINISHED SURFACE OF THE GROUND, PAVING OR SIDEWALK WITHIN THE AREA BETWEEN THE BUILDING AND THE PROPERTY LINE, OR WHEN THE PROPERTY LINE IS MORE THAN 5 FEET FROM THE BUILDING, BETWEEN THE BUILDING AND A LINE 5 FEET FROM THE BUILDING. THIS DEFINITION DOES NOT APPLY TO ANY BUILDING OR STRUCTURE LOCATED WITHIN THE BOUNDARIES OF THE CENTURY CITY NORTH OR CENTURY CITY SOUTH SPECIFIC PLANS AND WHICH IS SUBJECT TO SECTION 12.21.2 OF THIS CODE. (AMENDED BY ORD. NO. 160,657, EFF. 2/17/86, OPER. 6/17/86.)

**EXTERIOR FINISH SCHEDULE:**

TAG	MATERIAL	COLOR	MANF. / SUPPLIER
13	SLM 12 DOWNLIGHT	BLACK	RAB LIGHTING OR EQ.
14	ALUMINUM REVERSE CHANNEL ADDRESS NUMBERS	BLACK	TBD
15	COMPOSITE PANEL WITH WOOD FINISH	TIMBER SERIES, TEAK	APOLIC OR EQUAL
16	CORRUGATED METAL EQUIPMENT SCREEN	GREY	ATAS INT. OF EQ.

**EXTERIOR FINISH SCHEDULE:**

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**EXTERIOR FINISH SCHEDULE:**

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PROJECT TITLE:  
**MACHREA  
7 SMALL LOT SFR**

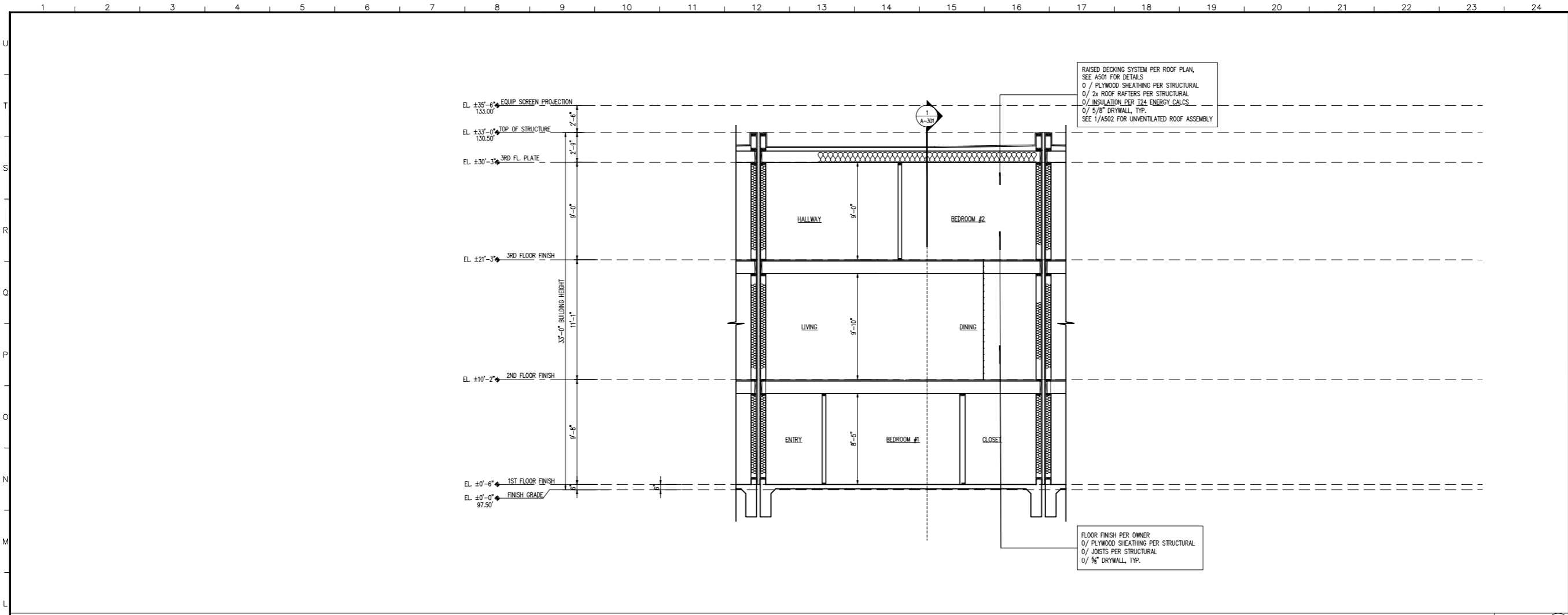
PROJECT ADDRESS:  
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LOS ANGELES, CA 91042

NO.	ISSUED FOR:

JOB NO.: 20034  
DRAWN BY: A.T.  
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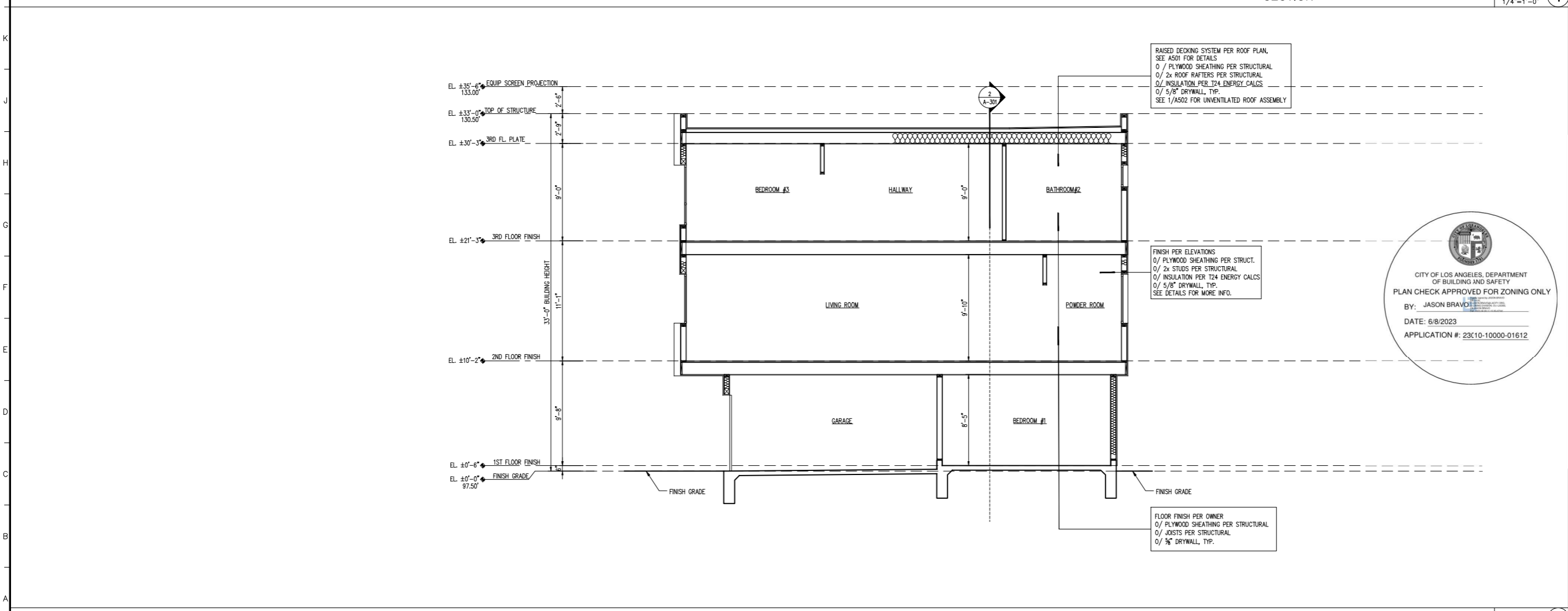
SHEET DESCRIPTION:  
**ELEVATIONS**

SHEET NUMBER:  
**A-203**



SECTION

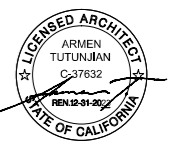
SCALE: 1/4"=1'-0" 1



SECTION

SCALE: 1/4"=1'-0" 2

PROJECT TEAM:  
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BURBANK, CA 91506  
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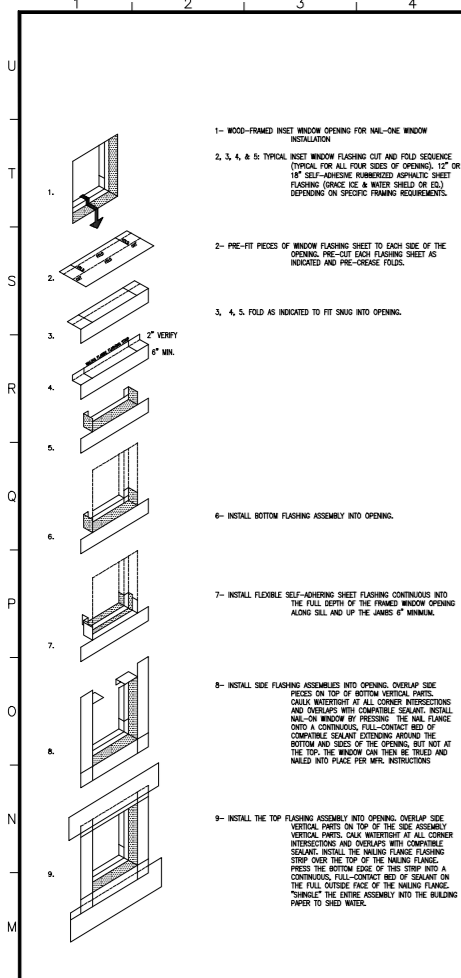
PROJECT TITLE:  
**MACHREA  
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PROJECT ADDRESS:  
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NO.	ISSUED FOR:

JOB NO.:	20034
DRAWN BY:	A.T.
CHECKED BY:	A.T.
DATE:	05-17-23
SHEET DESCRIPTION: SECTIONS	

SHEET NUMBER:  
**A-301**



1- WOOD-FRAMED INSET WINDOW OPENING FOR WALL-ONE WINDOW INSTALLATION

2, 3, 4, & 5: PRE-FIT PIECES OF WINDOW FLASHING SHEET TO EACH SIDE OF THE OPENING. PRE-CUT EACH FLASHING SHEET AS INDICATED AND PRE-CREASE FOLDS.

3, 4, 5: FOLD AS INDICATED TO FIT SNUG INTO OPENING.

6- INSTALL BOTTOM FLASHING ASSEMBLY INTO OPENING.

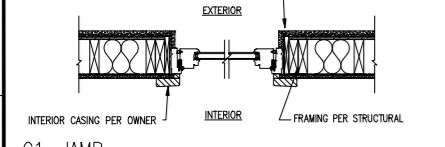
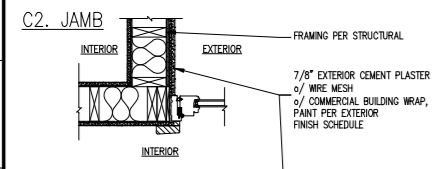
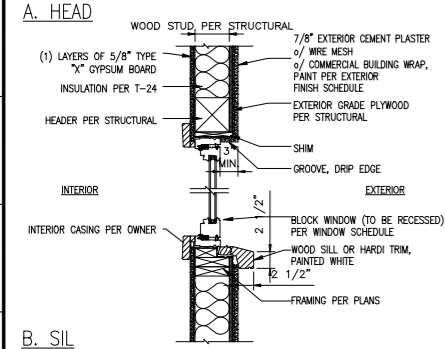
7- INSTALL FLEXIBLE SELF-ADHERING SHEET FLASHING CONTINUOUS INTO THE FULL DEPTH OF THE FRAMED WINDOW OPENING ALONG SILL AND UP THE JAMBES 4" MINIMUM.

8- INSTALL SIDE FLASHING ASSEMBLY INTO OPENING. OVERLAP SIDE FLASHING OVER TOP OF BOTTOM FLASHING ASSEMBLY. CALLS OUT INTERSECTIONS AND OVERLAPS WITH COMPATIBLE SEALANT. INSTALL THE SLIDING FLANGE FLASHING STRIP OVER THE TOP OF THE MAINING FLANGE. PRESS THE BOTTOM EDGE OF THIS STRIP INTO A CONTINUOUS, FULL-CONTACT BED OF SEALANT ON THE FULL OUTSIDE FACE OF THE MAINING FLANGE. "SHINGLE" THE ENTIRE ASSEMBLY INTO THE BUILDING PAPER TO SHED WATER.

9- INSTALL THE TOP FLASHING ASSEMBLY INTO OPENING. OVERLAP SIDE FLASHING OVER TOP OF THE SIDE ASSEMBLY. CALLS OUT INTERSECTIONS AND OVERLAPS WITH COMPATIBLE SEALANT. INSTALL THE SLIDING FLANGE FLASHING STRIP OVER THE TOP OF THE MAINING FLANGE. PRESS THE BOTTOM EDGE OF THIS STRIP INTO A CONTINUOUS, FULL-CONTACT BED OF SEALANT ON THE FULL OUTSIDE FACE OF THE MAINING FLANGE. "SHINGLE" THE ENTIRE ASSEMBLY INTO THE BUILDING PAPER TO SHED WATER.

NOTE: CARE AND SEAL ALL PUNCTURES WITH FLUID APPLIED FLASHING PER MANUFACTURE. WINDOW FLASHING ASSEMBLY MANUFACTURE TO MATCH HOUSE MANUFACTURING. DO NOT MIX AND MATCH DIFFERENT MANUFACTURERS. REFER TO MANUFACTURE SPECIFICATION & DETAILS FOR MORE INFORMATION. IF ASSEMBLY CHANGES CONTRACTOR TO NOTIFY ARCHITECT.

RECESSED WINDOW FLASHING DETAIL SCALE: N.T.S. 2



WINDOW FASTENING NOTE: PERIMETER OF THE WINDOW TO BE SECURED WITH 6d GALVANIZED OR CORROSION RESISTANT FASTENERS AT 12" O.C. (MAX.), HINGED OR PIVOTED WINDOWS REQUIRE ADDITIONAL FASTENERS LOCATED WITHIN 1" OF EACH SIDE OR, AND IN SAME PLANE AS THE HINGE OR PIVOT. SEAL ALL FASTENER HEADS DURING INSTALLATION WITH SEALANT. IN EACH DIRECTION FROM THE CORNER THERE MUST BE A FASTENER WITHIN 6 INCHES, BUT NO CLOSER THAN 3 INCHES, TO PREVENT FRAME DISTORTION OR FRACTURE OF JOINT SEAL.

WINDOW HEAD, SIL, JAMB @ STUCCO DETAILS SCALE: 1/4"=1'-0" 1

WINDOW SCHEDULE:

SYM.	SIZE		GLASS	TYPE	MATERIAL	FRAME	SHGC	U Factor	REMARKS (SEE REMARK NOTES BELOW)
	WIDTH	HEIGHT							
(1A)	4'-0"	4'-6"	DUAL	FIXED	FIBERGLASS	BLOCK	PER T24	PER T24	#1
(1B)	10"	7'-0"	DUAL	FIXED	FIBERGLASS	-	PER T24	PER T24	-
(1C)	5'-0"	5'-0"	DUAL	SLIDER	FIBERGLASS	-	PER T24	PER T24	-
(1D)	6'-0"	4'-6"	DUAL	SLIDER/FIX	FIBERGLASS	-	PER T24	PER T24	-
(1E)	6'-0"	7'-0"	DUAL	SLIDER/FIX	FIBERGLASS	-	PER T24	PER T24	-
(1F)	3'-4"	4'-0"	DUAL	FIXED	FIBERGLASS	-	PER T24	PER T24	-
(1G)	3'-0"	8'-0"	DUAL	FIXED	FIBERGLASS	-	PER T24	PER T24	-
(1H)	6'-0"	1'-6"	DUAL	FIXED	FIBERGLASS	-	PER T24	PER T24	-
(1I)	6'-0"	5'-6"	DUAL	SLIDER/FIX	FIBERGLASS	-	PER T24	PER T24	-
(1J)	4'-6"	3'-5"	DUAL	SLIDER/FIX	FIBERGLASS	-	PER T24	PER T24	-
(1K)	7'-0"	5'-6"	DUAL	SLIDER/FIX	FIBERGLASS	-	PER T24	PER T24	-
(1L)	2'-0"	3'-0"	DUAL	CASEMENT	FIBERGLASS	-	PER T24	PER T24	-
(1M)	7'-0"	5'-6"	DUAL	SLIDER/FIX	FIBERGLASS	-	PER T24	PER T24	-
(1N)	6'-0"	1'-6"	DUAL	FIXED	FIBERGLASS	-	PER T24	PER T24	-
(1O)	10'-6"	6'-0"	DUAL	FIXED/CASEMENT	FIBERGLASS	-	PER T24	PER T24	-
(1P)	6'-0"	4'-6"	DUAL	SLIDER	FIBERGLASS	-	PER T24	PER T24	-
(1Q)	6'-0"	5'-6"	DUAL	FIXED/SLIDER	FIBERGLASS	-	PER T24	PER T24	-
(1R)	3'-0"	3'-6"	DUAL	SINGLE HUNG	FIBERGLASS	-	PER T24	PER T24	-
(1S)	6'-0"	4'-0"	DUAL	SLIDER	FIBERGLASS	-	PER T24	PER T24	-
(1T)	2'-6"	2'-6"	DUAL	CASEMENT	FIBERGLASS	-	PER T24	PER T24	-

DOOR SCHEDULE:

SYM.	SIZE		THICKNESS	TYPE	MATERIAL	FRAME	SHGC	U Factor	GLASS	FIRE RATING	(SEE REMARK NOTES BELOW)
	WIDTH	HEIGHT									
(2A)	3'-0"	7'-0"	1-3/4"	SWING	WOOD	WOOD	-	-	-	N/A	EXTERIOR
(2B)	2'-8"	7'-0"	1-3/4"	SWING	WOOD	-	-	-	-	N/A	INTERIOR, SEE NOTE #2, 1 HR RATED
(2C)	16'-0"	8'-0"	1-3/4"	ROLL UP	ALUMINUM	ALUMINUM	-	-	-	N/A	-
(2D)	3'-6"	7'-0"	1-3/4"	BI-FOLD	WOOD	-	-	-	-	N/A	INTERIOR
(2E)	3'-0"	7'-0"	1-3/4"	SWING	WOOD	-	-	-	-	N/A	INTERIOR, SEE NOTE #2
(2F)	2'-8"	7'-0"	1-3/4"	SWING	WOOD	-	-	-	-	N/A	INTERIOR, SEE NOTE #2
(2G)	3'-0"	8'-0"	1-3/4"	SWING	ALUMINUM	ALUMINUM	-	-	-	N/A	W/ 4-2" FIXED WINDOW EACH SIDE

SCHEDULE NOTES:

- EMERGENCY ESCAPE / EXIT WINDOW MUST MEET FOLLOWING REQUIREMENTS:
  - 20" MIN. CLEAR WIDTH
  - 24" MIN. CLEAR HEIGHT
  - 5.7 S.F. MIN. OPENABLE AREA
- THE FOLLOWING LOCATIONS SHALL BE SAFETY GLAZING CONFORMING TO THE HUMAN IMPACT LOADS OF SECTION R308.3 (SRC R308.4):
  - FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BI-FOLDING DOOR ASSEMBLIES.
  - GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24-INCHES ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE.
  - GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
    - EXPOSED AREA OF AN INDIVIDUAL PANEL GREATER THAN 9 SQUARE FEET.
    - BOTTOM EDGE LESS THAN 18 INCHES ABOVE FLOOR.
    - TOP EDGE GREATER THAN 36 INCHES ABOVE FLOOR.
    - ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE GLAZING.
  - GLAZING IN RAILINGS.
  - GLAZING IN ENCLOSURES FOR OR WALLS FACING HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHUBS AND SHOWERS WHERE THE BOTTOM EDGE OF GLAZING IS LESS THAN 60" MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.
  - GLAZING IN WALLS AND FENCES ADJACENT TO INDOOR AND OUTDOOR SWIMMING POOLS, HOT TUBS AND SPAS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A WALKING SURFACE AND WITHIN 60 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE WATER'S EDGE.
  - GLAZING WHERE THE BOTTOM EXPOSED EDGE IF THE GLAZING IS LESS THAN 36 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE OF STAIRWAYS, LANDINGS BETWEEN FLIGHTS OF STAIRS OR RAMPS.
  - GLAZING ADJACENT TO THE LANDINGS AT THE BOTTOM OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 36 INCHES ABOVE THE LANDINGS AND WITHIN 60 INCHES HORIZONTALLY OF THE BOTTOM TREAD.
- THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS AND SKYLIGHTS (INCL. TUBULAR) MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BEEN COMPLETED.
- ALL WINDOWS AND GLAZED DOORS SHALL BE DUAL GLAZED INSULATED-GLASS UNITS WITH A MINIMUM OF ONE TEMPERED PANE.
- GARAGE DOORS TO BE TESTED IN ACCORDANCE TO WITH EITHER ASTM E 330 OR ANSI/DASMA 108, AND SHALL MEET THE ACCEPTANCE CRITERIA OF ANSI/DASMA 108.
- THE SIZES GIVEN ARE FOR FINISH OPENINGS.
- MANUFACTURE SHALL VISIT SITE AND FIELD VERIFY ALL ROUGH OPENING SIZES PRIOR TO SUBMITTING ORDER. SUBMIT FOR ARCHITECTS REVIEW.
- FIRE HAZARD SEVERITY ZONE REQUIREMENT (MFC 9-1-1-2014.1.1) EXTERIOR WINDOWS, WINDOW WALLS AND GLAZED DOORS, WINDOWS WITHIN EXTERIOR DOORS, AND SKYLIGHTS SHALL BE TEMPERED GLASS, MULTI-LAYERED GLASS PANELS, GLASS-BLOCK, OR HAVE A FIRE PROTECTION RATING OF NOT LESS THAN 20 MINUTES.

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LICENSED ARCHITECT  
ARMEN TUTUNJIAN  
C-37632  
RELEAS-01-2022  
STATE OF CALIFORNIA

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SHEET DESCRIPTION:  
SCHEDULES & DETAILS

SHEET NUMBER:  
**A-601**