

APPLICATIONS



ENVIRONMENTAL ASSESSMENT FORM

THIS BOX FOR CITY PLANNING STAFF USE ONLY

Environmental Case No.: ENV-2023-4515-EAF
Related Case Nos.: VII-83902-SL-HCA, ADM-2023-4514-SD
Filed With: Yingshi Huang Date Filed: 6/29/2023
Accepted By: _____ Date Accepted: _____

All terms in this document are applicable to the singular as well as the plural forms of such terms.

Project Address¹: 7665 W. Machrea St.

Assessor's Parcel Number: 2558-002-015

Major Cross Streets: Plainview

Community Plan: Sunland-Tujunga, Lake View Terrace- Shadowhills, East La Tuna Cyn.

OVERVIEW

The California Environmental Quality Act, also known as CEQA, was enacted by the State of California in 1970 to establish statewide regulations for the environmental review of discretionary projects. The CEQA review process is intended to foster transparency and integrity in public decision-making while ensuring land use decisions take into account the full impacts of development on natural and human environments. Before a discretionary project may be approved by the City, the Department must determine the appropriate level of CEQA review and conduct the corresponding type of environmental analysis.

Under CEQA, a project's potential impacts on the environment will fall into one of the following categories: Statutory Exemption (including the Sustainable Communities Project Exemption [SCPE]), Categorical Exemption (CE), Negative Declaration (ND), Mitigated Negative Declaration (MND), Sustainable Communities Environmental Assessment (SCEA), Sustainable Communities Environmental Impact Report (SCEIR), or Environmental Impact Report (EIR).

The purpose of this form is to assist Planning staff in determining the appropriate environmental clearance for a project. Unless otherwise specified on the pages that follow, provide all applicable information in narrative form or in a separate attachment to the Environmental Assessment Form (EAF). Any missing, incomplete, or inconsistent information will cause delays in the processing of your application.

¹ Project address must include all addresses on the subject site (as identified in ZIMAS; <http://zimas.lacity.org>).

A. PROJECT DESCRIPTION

Describe the entire project scope and any related entitlement requests. Attach a separate sheet if necessary. The description must include and/or describe:

- All phases and plans for future expansion
- Total square footage for:
 - Existing Development
 - Proposed Demolition
 - Proposed Construction
 - Summary of gross and net new square footage
- All uses, building heights (stories/feet), land use and zoning, floor area ratio (FAR), density, trees or protected tree removals, excavation/grading activities, construction staging areas, haul routes, street vacations or off-site improvements, sustainability features, hours of operation, etc.

Consider using tables to compare square footages or other aspects of the project.

Project Description:

Demolishing of existing one story house and detached garage to allow for subdivision purposes of one lot in RD3-1 zone into 7 new small lot homes (VTT. NO. 83902) . 4 lots by right and 3 density bonus lots with 2- market rate and one low income lot, lot sizes are 1233 to 2439 sq. ft.

Additional Information Attached

YES NO

B. PROJECT & PROJECT SITE INFORMATION

ZONING/LAND USE

	Existing	Proposed
General Plan Land Use Designation	Low Med. I Residential	Low Med. I residential
Zoning	RD3-1	RD3-1
Use (e.g., apartments, restaurant, retail)	Single family	7 single family

PROJECT SITE

	Square Feet	Acres
Gross Lot Area	14375	0.33
Net Lot Area	13474(12919.70)	0.31(0.296)

SLOPE²

Identify how much of the property is:

< 10% slope: 100 10-15% slope: _____ > 15% slope: _____

*If slopes over 10% exist, a **Topographic Map** is required.*

PROJECT SIZE

Total square footage of the existing development:	1444 sq. ft.
Square footage to be demolished:	1444 sq. ft.
Square footage to be built:	1770 to 2195 sq. ft.
Net new square footage:	1770 to 2195 sq. ft.
Total gross square footage:	1770 to 2195 sq. ft.

PROPOSED USES

Residential square footage:	1770 to 2195 sq. ft.
Commercial square footage:	0
Industrial square footage:	0
Other square footage (indicate use):	0

DWELLING UNITS

Number of residential units and type:	7 s.f.
Number of hotel guestrooms:	0
Net new units or hotel guestrooms:	0

² Defined in LAMC Section 12.03 as "An inclined ground surface the inclination of which is expressed as a ratio of horizontal distance to vertical distance (e.g., 2:1 or 1:1) or as a percentage (e.g., 50% or 100%)."

BUILDING HEIGHT

Total number of stories at or above ground: 3 story

Maximum height: 33'

LOT COVERAGE

Indicate the percent of the total lot area that is proposed for:

Building footprint:	56%
Paving/hardscape:	10%

Permeable hardscape:	19%
Landscaping:	15%

EXISTING AND PROPOSED DEVELOPMENT

Does the project only involve a remodel or change of use of an existing interior space? YES NO

If YES, indicate the total size of the interior space: _____

Does the property contain any vacant structures? YES NO

If YES, describe and state how long it has been vacant:

Does the project propose the removal or demolition of any structures? YES NO

If YES, provide the number, type, age, and total square footage of structures to be removed:
one story single family residence with detached garage

Does the project propose to remove any residential dwellings? YES NO

If YES, indicate the number of units: one single family

Does the project include a pool and/or hot tub? YES NO

If YES, provide the total number of gallons of water: _____

SENSITIVE USES

Is the project site located within 500 feet of any of the following sensitive uses: residences (single-family, apartments, or condominiums), transient lodgings, and/or retirement homes, long-term health care facilities, rehabilitation centers, and convalescent centers; hospitals; schools and childcare centers; parks and playgrounds; churches; auditoriums, concert halls, amphitheaters, and/or recording studios?

YES NO

If YES, describe use and proximity:

HOURS OF OPERATION

The hours of operation of the proposed project:

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday

SPECIAL EVENTS

Will there be special events not normally associated with day-to-day operations (e.g., fundraisers, parties, parent-teacher nights, athletic events, graduations)?

YES NO

If YES, describe the number of events, type, duration, and frequency proposed:

TREES

Are there any protected and/or non-protected trees and shrubs³ on the project site and/or within the adjacent public right-of-way, that may be removed or impacted⁴ as a result of the project? YES NO

Existing number of trees onsite: 8 +1 on neighbor site

Existing number of protected trees/shrubs onsite: 0

Existing number of street trees adjacent to the project site: _____

*If a protected tree or shrub (as defined in Los Angeles Municipal Code [LAMC] Section 17.02) occurs onsite, or any trees will be removed, replaced, relocated, or impacted, a **Tree Report** is required. Refer to the Tree Report Template (CP-4068) for additional instructions. If NO, a Tree Disclosure Statement (CP-4067) is required.*

Tree Report Attached YES NO N/A

Tree Disclosure Statement Attached YES NO N/A

GRADING

Specify the total amount of soil being moved:

Grading for Cut:	70	cubic yards
Grading for Fill:	10	cubic yards
Total Grading:	80	cubic yards (including BHO-exempt grading)
Overexcavation/Recompaction:	160	cubic yards

If subject to the Baseline Hillside Ordinance (BHO) per LAMC Section 12.21 C.10, identify the following exemptions, where applicable:

Remedial Grading as defined in LAMC Section 12.03: 160 cubic yards
(Must be recommended in Geotechnical Report and approved by the LADBS Grading Division)

Cut and/or Fill for driveway: 10 cubic yards
(Maximum exemption is 500 cubic yards)

Cut and/or Fill for deepened foundation systems: 0 cubic yards

Fill resulting from Cut underneath the main building footprint: 0 cubic yards
(Maximum exemption cannot exceed 50% of said Cut)

³ For a list of protected trees and shrubs, refer to the Tree Disclosure Statement (CP-4067).

⁴ Impacted means that grading or construction activity will be conducted within five feet of, or underneath, the tree's canopy.

HAUL ROUTE⁵

Indicate the amount of soil to be exported and/or imported:

- Less than 1,000 cubic yards
 1,000 cubic yards or more

Provide the following details only if the project is exporting/importing soil amount of 1,000 cubic yards or greater:

Soil Export Amount: _____ cubic yards (including a 25% swell factor)

Location of Disposal Site: _____

Soil Import Amount: _____ cubic yards

Location of Borrow Site: _____

RETAINING WALLS

Does the project include retaining walls?

- YES NO

If YES, describe:

C. ENVIRONMENTAL CHECKLIST

Any technical study identified as required below shall be submitted at the time of case filing. Projects submitting an EIR may submit the technical studies at a later date.

AIR QUALITY

Does the proposed project include:

80 or more residential units? YES NO

75,000 sq. ft. or more of non-residential use? YES NO

20,000 or more cubic yards of soil export? YES NO

If ANY of the three boxes are marked as YES, provide an Air Quality Study.

⁵ Haul Route approval will be required if the project is located within a BOE Special Grading Area and is exporting / importing 1,000 cubic yards or greater. If the project includes a subdivision map, the Deputy Advisory Agency has the authority to act on the Haul Route; otherwise, a separate public hearing and approval will be required by the Board of Building and Safety Commissioners.

BIOLOGICAL RESOURCES

Does the project propose any grading, new construction, or expansion of any building footprint? YES NO

*If NO, provide an **Owner's Declaration of Biological Resources (CP-3612)**.
If YES, continue below.*

Will the project remove any vegetation? YES NO

Will the project remove any protected trees or shrubs? YES NO

Would the project alter or encroach upon any water resources? YES NO

*If all three boxes are marked as NO, provide an **Owner's Declaration of Biological Resources (CP-3612)**.*

*If any of the three boxes are marked as YES and the project is within a hillside area and/or coastal zone, provide a **Biologist's Statement of Biological Resources (CP-3613)**.*

*If any of the three boxes are marked as YES and the project is not within a hillside area and/or coastal zone, provide an **Owner's Declaration of Biological Resources (CP-3612)**.*

HISTORICAL RESOURCES

Identification of Historical Resources Listed or Eligible for Listing

Are there any resources on or adjacent to the project site that are listed or eligible for listing under federal, state, or local landmark or historic district programs? Properties may include buildings, structures, sites, objects, and components of districts. YES NO

If YES, indicate which of the following apply, and skip to "3.c. Analysis of Project Impacts".

National Register of Historic Places: _____

California Register of Historical Resources: _____

City of Los Angeles Historic-Cultural Monument (HCM): _____

Located within a City of Los Angeles Historic Preservation Overlay Zone (HPOZ): _____

Evaluation of Potential Historical Resources

Are there any properties on or adjacent to the project site that have been identified in a federal, State or local register? YES NO

If YES, indicate which: _____

Are there any properties on or adjacent to the project site that have been previously identified in a historic resources survey?

YES NO

If YES, indicate which of the following apply and identify the name and/or address of the identified property and the geographic plan area in which the property is located: _____

Identified in SurveyLA: _____

Identified in CRA/LA Survey: _____

Identified in Specific Plan: _____

Identified in Other Geographic Overlay(s): _____

Does the Project Site contain any buildings over 45 years old that are not visible from the public right-of-way?

YES NO

If YES to any of the above, provide a **Historical Resource Assessment Report**.

Analysis of Project Impacts

If there are any properties listed or evaluated eligible for listing in **Historical Resource Assessment Report** on or adjacent to the project site, provide the applicable document below:

Historical Resource Technical Report (HRTR) is required for projects involving the demolition, construction, rehabilitation, relocation, or alteration of an identified historical resource. An HRTR should be prepared in support of an EIR, SCEA, MND/ND, SCPE, and/or Class 32 CE.

Secretary of the Interior's Standards Compliance Memorandum is required for projects involving the rehabilitation, relocation, or alteration of an identified historical resource seeking a Class 31 CE.

HAZARDS AND HAZARDOUS MATERIALS

Is the project site listed in any of the databases that compose the Cortese List of hazardous wastes and substances, maintained by the California Environmental Protection Agency (CalEPA)? These database resources can be located online at the following address: <https://calepa.ca.gov/SiteCleanup/CorteseList>.

Check all that apply.

- Department of Toxic Substances Control (DTSC): EnviroStor database
- State Water Board: GeoTracker database of leaking underground storage tank sites
- State Water Board: List of solid waste disposal sites with waste constituents above hazardous waste levels
- State Water Board: List of active Cease and Desist Orders and Cleanup and Abatement Orders
- DTSC: List of hazardous waste facilities subject to corrective action
- None of the Above

If the project site is listed in ANY of the above databases, the project is ineligible for a CE, a Phase I Environmental Site Assessment (ESA) is required, and the project may incur other restrictions or requirements.

Notwithstanding the checklist above, is the project proposed on land that is or was developed with a dry cleaning, automobile repair, gasoline station, or industrial / manufacturing use, or other similar type of use that may have resulted in site contamination?

YES NO

If YES, describe:

If YES, provide a Phase I Environmental Site Assessment (ESA).

TRANSPORTATION

Is the project required, or voluntarily proposing, to make modifications to the public right-of-way (i.e., dedications and/or improvements, reconfigurations of the curb line)?

YES NO

If YES, complete Sections A, B, and C of Attachment D: Plan Consistency Worksheet of the Transportation Assessment Guidelines. Review by the Department of Transportation (LADOT) will be required to determine if the project's proposed changes to the public right of way conflicts with any plans, programs, ordinances, or policies.

Is the project proposing new driveways, or introducing new vehicle access to the property from the public right-of-way on a street designated as a Boulevard or Avenue, or on a collector or local street within 75 feet from the intersecting street?

YES NO

*If YES, contact LADOT to initiate a **Transportation Engineering Design Review** by LADOT.*

A development project must also be screened to determine if a **Transportation Assessment** review by LADOT is required to analyze a potential increase in Vehicle Miles Traveled (VMT). Complete the **Transportation Study Assessment (CP-2151.1)** to determine if the project needs to complete a VMT analysis.

If a Transportation Study Assessment (CP-2151.1) has been completed, did the results indicate that a VMT analysis would be needed?

YES NO
 NOT COMPLETED

MISCELLANEOUS

Does the property contain any easements, rights-of-ways, Covenant & Agreements, parking agreements, or other contracts which restrict full use of the property?

YES NO

If YES, describe:

Sanitary sewer easement, public utility easement

Will the project require certification, authorization, clearance or issuance of a permit by any federal, State, county, or environmental control agency, such as the Coastal Commission, California Department of Fish and Wildlife, State Water Resources Board, South Coast Air Quality Management District, etc.?

YES NO

If YES, specify:

REQUESTED ENVIRONMENTAL CLEARANCE

CATEGORICAL EXEMPTION (CE)

Check all that apply below:

Check this box if you are requesting a CE and:

You do not meet any of the exceptions listed in Section 15300.2 of the State CEQA Guidelines.

Check this box if you are requesting a Class 1–30 or 33 CE.

Identify the Class of the CE which you are requesting: _____

Check this box if you are requesting a Class 31 CE and:

A Secretary of the Interior's Standards Compliance Memorandum is attached.

Check this box if you are requesting a Class 32 CE and:

- The Special Requirements for the Class 32 CE (CP-7828) have been reviewed;
- Written justifications identified in the Special Requirements (CP-7828) and any supporting documents and/or technical studies to support your position that the proposed project is eligible for the Class 32 CE and does not fall under any of the Exceptions pursuant to CEQA Section 15300.2 have been included; and
- This project would not result in any significant traffic, noise, air quality, or water quality impacts.

STATUTORY EXEMPTION

Check this box if you are requesting a Statutory Exemption.

Identify the Code and Section under which a Statutory Exemption is being requested: _____

NEGATIVE DECLARATION (ND) OR MITIGATED NEGATIVE DECLARATION (MND)

Check this box if you are requesting an ND or MND.

Is a consultant-prepared Initial Study attached? YES NO

ENVIRONMENTAL IMPACT REPORT (EIR)

Check this box if you are requesting an EIR. Note that a consultation with the Major Projects Unit is required prior to filing.

A consultation has been completed. YES NO

Date consultation completed: _____

SENATE BILL (SB) 375 CEQA STREAMLINING REQUEST

SB 375 introduced a series of streamlined CEQA environmental clearances for qualifying Transit Priority Projects (TPPs) pursuant to Public Resources Code (PRC) 21155, intended to encourage higher density infill development located near transit. The SB 375 clearances include Sustainable Communities Project Exemptions (SCPEs), Sustainable Communities Environmental Assessments (SCEAs), and Sustainable Communities Environmental Impact Reports (SCEIRs). Projects are eligible to seek one of these clearances if they meet the statutory requirements for TPPs **and** the qualifying requirements for the applicable environmental clearance.

Check this box if you are requesting a SB 375 environmental clearance, and indicate below which type you are requesting (choose only one):

- SCPE.** The Project is required to meet all criteria listed for a Transit Priority Project pursuant to PRC Section 21155 and for a SCPE pursuant to PRC Section 21155.1.
- SCEA.** The Project is required to meet all criteria listed for a Transit Priority Project pursuant to PRC Section 21155 and for a SCEA pursuant to PRC Section 21155.2(a) and 21155.2(b).
- SCEIR.** The Project is required to meet all criteria listed for a Transit Priority Project pursuant to PRC Section 21155 and for a SCEIR pursuant to PRC Sections 21155.2(a) and 21155.2(c).

Written justifications and any supporting documents and/or technical studies are required to support the position that the proposed Project is eligible for one of these three SB 375 CEQA streamlining clearances.

Note that requesting a SCPE, SCEA, or SCEIR, or other environmental clearance does not guarantee that the request will be accepted. The City may require additional studies and information, if necessary. The City reserves all rights to determine the appropriate CEQA clearance, including using multiple clearances and requiring an EIR if necessary.

PROPERTY OWNER

Name: Nerses Yarijanyan

Company: _____

Address: 7665 W. Machrea St. Unit/Space Number: _____

City: Los Angeles State: CA. Zip Code: 91042

Telephone: 818-406-1935 E-mail: nero-y@inbox.ru

APPLICANT (if not Property Owner)

Name: _____

Company: _____

Address: _____ Unit/Space Number: _____

City: _____ State: _____ Zip Code: _____

Telephone: _____ E-mail: _____

APPLICANT'S REPRESENTATIVE

Name: Hayk Martirosian

Company: Techna Land Co. Inc.

Address: 1545 N. Verdugo Rd.. Unit/Space Number: 2

City: Glendale State: Ca. Zip Code: 91208

Telephone: 818-547-0543 E-mail: hayk@technaland.com

ENVIRONMENTAL CONSULTANT (if applicable)

Name: _____

Company: _____

Address: _____ Unit/Space Number: _____

City: _____ State: _____ Zip Code: _____

Telephone: _____ E-mail: _____

APPLICANT/CONSULTANT'S AFFIDAVIT

Affidavit must be signed and notarized by the Property Owner and Consultant (if applicable).
Notarized signatures shall also be required each time a revised EAF is submitted.

PROPERTY OWNER

I, VERSES YARIJANYAN
(Print Name)

[Signature]
Signature

CONSULTANT/AGENT

I, HAYK MARTIKOSIAN
(Print Name)

[Signature]
Signature

being duly sworn, state that the statements and information, including plans and other attachments, contained in this Environmental Assessment Form are in all respects true and correct to the best of my knowledge and belief. I hereby certify that I have fully informed the City of the nature of the Project for purposes of the California Environmental Quality Act (CEQA) and have not submitted this application with the intention of segmenting a larger Project in violation of CEQA. I understand that should the City determine that the Project is part of a larger project for purposes of CEQA; the City may revoke any approvals and/or stay any subsequent entitlements or permits (including certificates of occupancy) until a full and complete CEQA analysis is reviewed and appropriate CEQA clearance is adopted or certified.

APPLICATIONS



SUBDIVIDER'S STATEMENT
Tentative Tract Map

THIS BOX FOR CITY PLANNING STAFF USE ONLY

Case No.: VII-83902 - SL-HCA, ADM-2023-4514-SLD
Environmental Case No.: ENV-2023-4515-EAF
Related Case Nos.: _____
Case Filed With (Print Name): Yingshi Huang Date Filed: 6/29/23

THIS SECTION TO BE COMPLETED BY THE APPLICANT

Missing, incomplete, or inconsistent information will cause delays.

All terms in this document are applicable to the singular as well as the plural forms of such terms.
Refer to the Tract Map Filing Instructions (CP-6110) for more information.

Street Address: 7665 W. Machrea St.
Legal Description (Lot, Block, Tract): Lot 10, Tr. No. 14078, MB. 292, pgs. 49/50
Assessor Parcel Number(s): 2558-002-015
Total Number of Lots: 7(seven)
Number of Ground Lots: 7 Airspace Lots: 0
Tract Area: 0.31 net acres; 0.33 gross acres; 0.31 net square feet after required dedication

TRACT PROPOSED FOR:	UNITS/SQ. FT.	PARKING	+ GUEST PARKING ¹
SINGLE-FAMILY			
Apartments	_____	_____	+ _____
Residential Condominiums (Condos)	_____	_____	+ _____
Residential Condo Conversion	_____	_____	+ _____
COMMERCIAL			
Commercial Condos	_____	_____	
Commercial Condo Conversion	_____	_____	

¹ Multiple dwelling projects only.

TRACT PROPOSED FOR: UNITS/SQ. FT. PARKING + GUEST PARKING²

INDUSTRIAL

Industrial Condos _____

Industrial Condo Conversion _____

Reversion to Acreage _____

Stock Cooperative _____ + _____

Other (specify): _____

Number/type of units to be demolished _____

TREES AND SHRUBS

Are there any protected trees or shrubs (Oaks [excluding Scrub Oak], Western Sycamore, California Bay, Southern California Black Walnut, California Bay, Mexican Elderberry, and/or Toyon) on this property?

YES

NO

If YES,

How many, and of which species? _____

How many are 4 inches or more in diameter? _____

How many absolutely must be removed? _____

Are there other trees 12 inches or more in diameter?

YES

NO

If YES,

How many? Total of 8 (5,12" or greater) on -site, 1 off-site

How many must be removed? All

Indicate type and trunk diameter of each tree, and whether the tree is to be retained or removed, on a tree map superimposed on the tentative map. Attach a list, if necessary.

- 1, pine 41", remove
- 2, Ash, 7.5", remove
- 3, Cypress, 10", remove
- 4, Cypress, 12" remove
- 5, Cypress, 9" remove
- 6, Cypress, 10" remove
- 7, Cypress, 12", remove
- 8, Cypress, 12", remove
- 9, Sa. CA. black walnut, 24" remain

Notice of incomplete application will be issued if the tree information is not included.

² Multiple dwelling projects only.

HILLSIDE, GRADING, AND HAZARDS

Is the proposed tract:

In a slope stability study (hillside) area?

YES NO

In a fault rupture study area?

YES NO

Is subdivision within the vicinity of the Mulholland Scenic Parkway?

YES NO

Is proposed tract in a flood hazard area, hillside area, floodway or mudprone area?

YES NO

If YES, submit the Information for Development in Hazard, Flood Hazard and Hillside Area (CP-6114) form.

Is a haul route approval being requested at this time?

YES NO

If YES, complete the Haul Route (CP-6119) form.

Are there any existing or formerly used gasoline, oil, gas pipelines or wells within the project site?

YES NO

If YES, show all easements on tentative tract map.

TENANT INFORMATION FOR DEMOLITIONS AND CONDOMINIUM CONVERSIONS

Complete and attach the Tenant Information Chart (CP-6345). For conversions, provide Proof of Tenant Notification as detailed in Tentative Tract Map Filing Instructions and Checklist (CP-6110).

CONDOMINIUM CONVERSIONS

If the tract is for condominium or cooperative conversion purposes, provide the information below. If necessary, provide on a separate sheet. Note: A certified parking plan is required for all conversions.

Anticipated range of sales prices: _____

Anticipated sales terms to tenants: _____

Number of existing parking spaces: _____

HORSEKEEPING

Is the project in a horsekeeping (K) district?

YES NO

Is the project within a plan-designated horsekeeping area?

YES NO

Is the project in an RA or more restrictive zone?

YES NO

OTHER

Is more than one final map unit proposed?

YES

NO


If YES, attach a sketch showing each unit or phase.

Briefly describe your proposal below or on a separate sheet. List any requested adjustments to zoning regulations or waivers of dedication and/or improvements pursuant to LAMC Section 17.03 A:

Demolition of existing single family in RD3-1, and propose to subdivide the lot into 7 small lot subdivision

I certify that the statements on this form are true to the best of my knowledge.

Signed


LHERSES YARIJANIYAN

Date:

7/15/23

RECORD OWNER(S) / SUBDIVIDER (From Latest Adopted Tax Roll)

Applicant³ Name: Nerses Yarijanyan

Company: _____

Address: 7665 W. Machrea St. **Unit/Space Number:** _____

City: Los Angeles **State:** CA. **Zip Code:** 91042

Telephone: (818) 406-1935 **E-mail:** Nero-y@inbox.ru

APPLICANT/REPRESENTATIVE

Name: Hayk Martirosian

Company: Techna Land Co. Inc.

Address: 1545 N. Verdugo Rd. **Unit/Space Number:** 2

City: Glendale **State:** CA. **Zip Code:** 91208

Telephone: 818-547-0543 **E-mail:** hayk@technaland.com

ENGINEER/LICENSED SURVEYOR

Name: Hayk Martirosian

Company: Techna Land Co. Inc.

Address: 1545 N. Verdugo Rd. **Unit/Space Number:** 2

City: Glendale **State:** CA. **Zip Code:** 91208

Telephone: 818-547-0543 **E-mail:** hayk@technaland.com

PRIMARY CONTACT FOR PROJECT INFORMATION⁴

Select only one. Both phone number and email address are required.

Owner **Applicant** **Agent/Representative** **Other:** _____

Telephone: 818-547-0543 **E-mail:** hayk@technaland.com

To ensure notification of any public hearing as well as decisions on the project, make sure to include an individual mailing label for each member of the project team in both the Property Owners List and the Abutting Property Owners List, when requested by the Project Planner.

³ To ensure notification of any public hearing as well as decisions on the project, make sure to include an individual mailing label for each member of the project team in both the Property Owners List and the Abutting Property Owners List.
⁴ As of June 8, 2022, the Primary Contact for Project is required to have an Angeleno Account and register with the Ethics Commission for Significant Project Entitlements, as defined in LAMC Section 49.7.37(A)(6). An email address and phone number shall be required on the Subdivider's Statement, and the email address provided shall match the email address used to create the Angeleno Account.

OTHER

Is more than one final map unit proposed?

YES


NO

If YES, attach a sketch showing each unit or phase.

Briefly describe your proposal below or on a separate sheet. List any requested adjustments to zoning regulations or waivers of dedication and/or improvements pursuant to LAMC Section 17.03 A:

I certify that the statements on this form are true to the best of my knowledge.

Signed



HAYK MARTIROSIAN

Date:

7-5-23.



CITY PLANNING APPLICATION

THIS BOX FOR CITY PLANNING STAFF USE ONLY

ED1 Eligible AB 2097 Eligible

Case Number: VII-83902-SL-HCA, ADM-2023-4514-SLD

Env. Case Number: ENV-2023-4515-EAF

Application Type: Small Lot Subdivision, Vesting Tract Map

Case Filed With (Print Name): Yingshi Huang Date Filed: 6/29/23

Application includes letter requesting:

Waived Hearing Concurrent hearing Hearing not to be scheduled on a specific date (e.g. vacation hold)

Related Case Number(s): _____

THIS SECTION TO BE COMPLETED BY THE APPLICANT

Provide all information requested. Missing, incomplete or inconsistent information will cause delays. All terms in this document are applicable to the singular as well as the plural forms of such terms. Refer to the City Planning Application Filing Instructions (CP-7810) for more information.

1. PROJECT LOCATION

Street Address¹: 7665 W. Machrea St. Unit/Space Number: _____

Legal Description² (Lot, Block, Tract): Lot 10, Tr. No. 14078, MB. 292, Pgs. 49-50

Assessor Parcel Number: 2558-002-015 Total Lot Area: 13,473.90 sq. ft.

2. PROJECT DESCRIPTION

Present Use: Single Family with detached garage

Proposed Use: 7 single family, small lot subdivision

Project Name (if applicable): _____

¹ Street Addresses must include all addresses on the subject/application site (as identified in ZIMAS—<http://zimas.lacity.org>).
² Legal Description must include all contiguously owned properties (even if they are not a part of the proposed project site).

Describe in detail the characteristics, scope and/or operation of the proposed project:

subdivision of existing single family in RD3-1 zone into new 7 single family lots under same zone small lot subdivision, 4 lots by right and apply for 3 additional lots by density bonus with 2 market rate lots and 1- low income affordability lot

Additional Information Attached:

YES NO

EXISTING SITE CONDITIONS

Complete and check all that apply:

- Site is undeveloped or unimproved (i.e., vacant)
- Site has existing buildings (provide copies of building permits)
- Site is/was developed with uses that could release hazardous materials on soil and/or groundwater (e.g., dry cleaning, gas station, auto repair, industrial)
- Site is located within 500 feet of a freeway or railroad
- Site is located within 500 feet of a sensitive use (e.g., school, park)
- Site has special designation (e.g., National Historic Register, Survey LA)

PROPOSED PROJECT INFORMATION

Check all that apply or could apply:

- Demolition of existing buildings/structures
- Relocation of existing buildings/structures
- Removal of any on-site tree
- Removal of any street tree
- Removal of protected trees onsite/in public right-of-way
- Grading
- Haul Route
- New construction: _____ square feet
- Additions to existing buildings
- Interior tenant improvement
- Exterior renovation or alteration
- Change of use and/or hours of operation
- Uses or structures in public right-of-way
- Phased project

HOUSING COMPONENT INFORMATION

Number of Residential Units: Existing 1 - Demolish(ed)³ 1 + Adding 47 = Total 47

Number of Affordable Units⁴: Existing 0 - Demolish(ed) 0 + Adding 1 = Total 1

Number of Market Rate Units: Existing 01 - Demolish(ed) 01 + Adding 26 = Total 26

Mixed Use Projects, Amount of Non-Residential Floor Area: _____ square feet

³ Number of units to be demolished and/or which have been demolished within the last five years.

⁴ As determined by the Los Angeles Housing Department.

PARKING INFORMATION

Is the project utilizing AB 2097?

YES NO

If Yes, provide a date-stamped ZIMAS Parcel Profile Report including AB 2097 Eligibility information.

Provided # of Parking Spaces: _____ Required # of Parking Spaces: _____

Parking Minimum Checklist

The following checklist will determine if parking minimums can be imposed on a Project under AB 2097. Parking minimums cannot be imposed if the proposed project meets any of the following criteria.

Check all that apply:

- Include a minimum of 20 percent of the total dwelling units for Very Low, Low, or Moderate-Income households, students, the elderly, or persons with disabilities
- Contain fewer than 20 dwelling units
- Are subject to parking reductions of any other applicable law (by satisfying the applicable eligibility requirements)

PUBLIC RIGHT-OF-WAY INFORMATION

Have you submitted the Planning Case Referral Form to BOE? (if required) YES NO

Is the project required to dedicate land to the public right-of-way? YES NO

If so, what is/are the dedication requirement(s)? 10 foot _____ feet

If dedications are required on multiple streets, identify as such: no _____

3. ACTION(S) REQUESTED

Provide the Los Angeles Municipal Code (LAMC) Section that authorizes the request and (if applicable) the LAMC Section or the Specific Plan/Overlay Section from which relief is sought, and follow with a description of the requested action.

Does the project include Multiple Approval Requests per LAMC Section 12.36? YES NO

Authorizing Code Section: 12.22, C,27 _____

Code Section from which relief is requested (if any): _____

Action Requested: Allow to subdivide a single lot in RD3-1 zone into 7 single lot (small lot subdivision) w 4 lots by right and 3 density bonus lots, 2-market rate and 1-low income lot _____

Authorizing Code Section: _____

Code Section from which relief is requested (if any): _____

Action Requested: _____

Additional Requests Attached: YES NO

4. RELATED CITY PLANNING CASES

Are there previous or pending cases/decisions/environmental clearances on the project site? YES NO

If YES, list all case number(s): _____

If the application/project is directly related to one of the above cases, list the pertinent case numbers below and complete/check all that apply (provide copy).

Case No.: _____ Ordinance No.: _____

- | | |
|--|---|
| <input type="checkbox"/> Condition Compliance Review | <input type="checkbox"/> Clarification of Q (Qualified) Condition |
| <input type="checkbox"/> Modification of Conditions | <input type="checkbox"/> Clarification of D (Development) Limitation |
| <input type="checkbox"/> Revision of Approved Plans | <input type="checkbox"/> Amendment to T (Tentative) Classification |
| <input type="checkbox"/> Renewal of Entitlement | <input type="checkbox"/> Plan Approval subsequent to Main Conditional Use |

For purposes of environmental (CEQA) analysis, is there intent to develop a larger project? YES NO

Have you filed, or is there intent to file, a Subdivision with this project? YES NO

If YES, to either of the above, describe the other parts of the projects or the larger project below, whether or not currently filed with the City:

VTT. No. 83902

5. RELATED DOCUMENTS / REFERRALS

To help assigned staff coordinate with other Departments that may have a role in the proposed project, provide a copy of any applicable form and reference number if known.

Are there any recorded Covenants, affidavits or easements on this property?

YES (provide copy) NO

6. PROJECT TEAM INFORMATION (COMPLETE ALL APPLICABLE FIELDS)

APPLICANT

Applicant⁵ Name: Nerses Yarijanyan

Company/Firm: _____

Address: 7665 W. Machrea St. Unit/Space Number: _____

City: Los Angeles State: CA. Zip Code: 91042

Telephone: 818-406-1935 E-mail: nero-y@inbox.ru

Are you in escrow to purchase the subject property?: YES NO

PROPERTY OWNER OF RECORD Same as applicant Different from applicant

Name (if different from applicant): _____

Address: _____ Unit/Space Number: _____

City: _____ State: _____ Zip Code: _____

Telephone: _____ E-mail: _____

AGENT / REPRESENTATIVE NAME: Hayk Martirosian

Company/Firm: Techna Land Co. Inc.

Address: 1545 N. Verdugo Rd. Unit/Space Number: 2

City: Glendale State: CA. Zip Code: 91208

Telephone: 818-547-0543 E-mail: hayk@technaland.com

⁵ An applicant is a person with a lasting interest in the completed project such as the property owner or a lessee/user of a project. An agent/representative is someone filing an application on behalf of a client.

OTHER (E.G. ARCHITECT, ENGINEER, CEQA CONSULTANT): _____

Name: _____

Company/Firm: _____

Address: _____ **Unit/Space Number:** _____

City: _____ **State:** _____ **Zip Code:** _____

Telephone: _____ **E-mail:** _____

Primary Contact for Project Information⁶

(Select only one. Email address and phone number required.)

Owner Applicant Agent/Representative Other: _____

To ensure notification of any public hearing as well as decisions on the project, make sure to include an individual mailing label for each member of the project team in both the Property Owners List and the Abutting Property Owners List.


⁶ As of June 8, 2022, the Primary Contact for Project is required to have an Angeleno Account and register with the Ethics Commission for Significant Project Entitlements, as defined in LAMC Section 49.7.37(A)(6). An email address and phone number shall be required on the DCP Application Form, and the email address provided shall match the email address used to create the Angeleno Account.

PROPERTY OWNER AFFIDAVIT

Before the application can be accepted, the owner of each property involved must provide a notarized signature to verify the application is being filed with their knowledge. Staff will confirm ownership based on the records of the City Engineer or County Assessor. In the case of partnerships, corporations, LLCs or trusts an officer of the ownership entity so authorized may sign as stipulated below.

- **Ownership Disclosure.** If the property is owned by a partnership, corporation, LLC or trust, a disclosure identifying an officer of the ownership entity must be submitted. The disclosure must list the names and addresses of the principal owners (25% interest or greater). The signatory must appear in this list of names. A letter of authorization, as described below, may be submitted provided the signatory of the letter is included in the Ownership Disclosure. Include a copy of the current partnership agreement, corporate articles, or trust document as applicable.
- **Letter of Authorization (LOA).** An LOA from a property owner granting someone else permission to sign the application form may be provided if the property is owned by a partnership, corporation, LLC or trust or in rare circumstances when an individual property owner is unable to sign the application form. To be considered for acceptance, the LOA must indicate the name of the person being authorized the file, their relationship to the owner or project, the site address, a general description of the type of application being filed and must also include the language in items A-D below. In the case of partnerships, corporations, LLCs or trusts the LOA must be signed and notarized by the authorized signatory as shown on the Ownership Disclosure or in the case of private ownership by the property owner. Proof of Ownership for the signatory of the LOA must be submitted with said letter.
- **Grant Deed.** Provide a Copy of the Grant Deed If the ownership of the property does not match City Records and/or if the application is for a Coastal Development Permit. The Deed must correspond exactly with the ownership listed on the application.
- **Multiple Owners.** If the property is owned by more than one individual (e.g. John and Jane Doe or Mary Smith and Mark Jones) notarized signatures are required of all owners.
 - a. I hereby certify that I am the owner of record of the herein previously described property located in the City of Los Angeles which is involved in this application or have been empowered to sign as the owner on behalf of a partnership, corporation, LLC or trust as evidenced by the documents attached hereto.
 - b. I hereby consent to the filing of this application on my property for processing by the Department of City Planning.
 - c. I understand if the application is approved, as a part of the process the City will apply conditions of approval which may be my responsibility to satisfy including, but not limited to, recording the decision and all conditions in the County Deed Records for the property.
 - d. By my signature below, I declare under penalty of perjury under the laws of the State of California that the foregoing statements are true and correct.

Property Owner's signatures must be signed/notarized in the presence of a Notary Public.
The City requires an original signature from the property owner with the "wet" notary stamp.
A Notary Acknowledgement is available for your convenience on following page.

Signature:  Date: 7/5/23
Print Name: NERSES YARIWANYAN

Signature: _____ Date: _____
Print Name: _____

SPACE BELOW FOR NOTARY'S USE

CALIFORNIA ALL-PURPOSE ACKNOWLEDGEMENT

CIVIL CODE '1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document, to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of LOS Angeles

On July 5, 2023 before me, Margarita Nila, Notary Public
(Insert Name of Notary Public and Title)

personally appeared Nerses Yarijanyan, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf on which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

[Signature]
Signature



APPLICANT DECLARATION

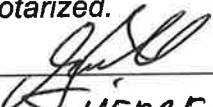
A separate signature from the applicant, whether they are the property owner or not, attesting to the following, is required before the application can be accepted.

- a. I hereby certify that the information provided in this application, including plans and other attachments, is accurate and correct to the best of my knowledge. Furthermore, should the stated information be found false or insufficient to fulfill the requirements of the Department of City Planning, I agree to revise the information as appropriate.
- b. I hereby certify that I have fully informed the City of the nature of the project for purposes of the California Environmental Quality Act (CEQA) and have not submitted this application with the intention of segmenting a larger project in violation of CEQA. I understand that should the City determine that the project is part of a larger project for purposes of CEQA, the City may revoke any approvals and/or stay any subsequent entitlements or permits (including certificates of occupancy) until a full and complete CEQA analysis is reviewed and appropriate CEQA clearance is adopted or certified.
- c. I understand that the environmental review associated with this application is preliminary, and that after further evaluation, additional reports, studies, applications and/or fees may be required.
- d. I understand and agree that any report, study, map or other information submitted to the City in furtherance of this application will be treated by the City as public records which may be reviewed by any person and if requested, that a copy will be provided by the City to any person upon the payment of its direct costs of duplication.
- e. I understand that the burden of proof to substantiate the request is the responsibility of the applicant. Additionally, I understand that planning staff are not permitted to assist the applicant or opponents of the project in preparing arguments for or against a request.
- f. I understand that there is no guarantee, expressed or implied, that any permit or application will be granted. I understand that each matter must be carefully evaluated and that the resulting recommendation or decision may be contrary to a position taken or implied in any preliminary discussions.
- g. I understand that if this application is denied, there is no refund of fees paid.
- h. I understand and agree to defend, indemnify, and hold harmless, the City, its officers, agents, employees, and volunteers (collectively "City"), from any and all legal actions, claims, or proceedings (including administrative or alternative dispute resolution (collectively "actions")), arising out of any City process or approval prompted by this Action, either in whole or in part. Such actions include but are not limited to: actions to attack, set aside, void, or otherwise modify, an entitlement approval, environmental review, or subsequent permit decision; actions for personal or property damage; actions based on an allegation of an unlawful pattern and practice; inverse condemnation actions; and civil rights or an action based on the protected status of the petitioner or claimant under state or federal law (e.g. ADA or Unruh Act). I understand and agree to reimburse the City for any and all costs incurred in defense of such actions. This includes, but is not limited to, the payment of all court costs and attorneys' fees, all judgments or awards, damages, and settlement costs. The indemnity language in this

paragraph is intended to be interpreted to the broadest extent permitted by law and shall be in addition to any other indemnification language agreed to by the applicant.

- i. I understand that the City is protected by numerous statutory immunities from liability for damages that may be caused by its land use regulatory actions, as set forth in Government Code, section 818, et seq. For instance, the City cannot be held liable for personal or property injuries or damages allegedly caused by its approval and issuance of any discretionary permit, entitlement or approval (Gov. Code § 818.4), or its failure to inspect or its negligence in inspecting a property for the purpose of determining whether the property complies with or violates any permit, entitlement or approval or contains or constitutes a hazard to health or safety (Gov. Code § 818.6).
- j. By my signature below, I declare under penalty of perjury, under the laws of the State of California, that all statements contained in this application and any accompanying documents are true and correct, with full knowledge that all statements made in this application are subject to investigation and that any false or dishonest answer to any question may be grounds for denial or subsequent revocation of license or permit.

The City requires an original signature from the applicant. The applicant's signature below does not need to be notarized.

Signature: 
Print Name: NERSES YARIWANYAN

Date: 2/15/23

NEIGHBORHOOD CONTACT SHEET (OPTIONAL)

7. SIGNATURES

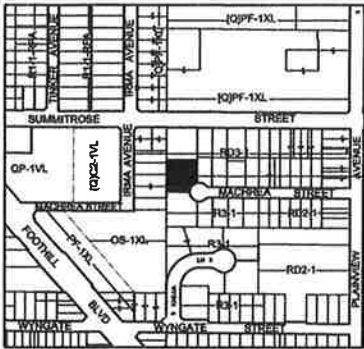
Signatures of adjoining or neighboring property owners in support of the request are not required but are helpful, especially for projects in single-family residential areas. Signatures may be provided below (attach additional sheets if necessary).

NAME (Print)	SIGNATURE	ADDRESS	KEY # ON MAP

REVIEW of the project by the applicable Neighborhood Council is not required but is helpful. If applicable, describe, below or separately, any contact you have had with the Neighborhood Council or other community groups, business associations and/or officials in the area surrounding the project site (attach additional sheets if necessary).

VESTING TENTATIVE TRACT MAP NO. 83902 FOR SMALL LOT SUBDIVISION PURPOSES

"NOTE: SMALL LOT SINGLE FAMILY SUBDIVISION IN THE RD3-1 ZONE, PER ORDINANCE NO. 185,462"
IN THE CITY OF LOS ANGELES, STATE OF CALIFORNIA



VICINITY MAP
NO SCALE

PROJECT SITE

DATE: ~~MAR. 27, 2023~~
JULY 6, 2023

LOT	LOT AREA (SQ. FT.)	LOT COVERAGE	FRONT	REAR	SIDE 1	SIDE 2
1	2439.10	38.5%	0.08'(N)	5.48'(S)	7.00'(E)	8.92'(W)
2	1233.00	72%	0.08'(N)	0.08'(S)	7.00'(E)	8.92'(W)
3	1810.80	48%	10.20'(N)	0.08'(S)	7.00'(E)	8.92'(W)
4	2156.20	52%	10.72'(N)	0.08'(S)	8.92'(E)	7.00'(W)
5	1522.80	72%	0.08'(N)	0.08'(S)	8.92'(E)	7.00'(W)
6	1522.80	72%	0.08'(N)	0.08'(S)	8.92'(E)	7.00'(W)
7	2235.50	54%	0.08'(N)	6.87'(S)	8.42'(E)	7.00'(W)

NORTH
scale: 1"=10'

OWNER / SUBDIVIDER

NERSES YARIJANYAN
7665 MACHREA STREET
LOS ANGELES, CA 91042
TEL. NO. (818) 406-1935

ENGINEER

TECHNA LAND CO., INC.
HAYK MARTIROSIAN
1545 N. VERDUGO RD. SUITE 2
GLENDALE, CA 91208
TEL: (818) 547-0543
RCE 52563

PROJECT ADDRESS

7665 W. MACHREA STREET
LOS ANGELES CA. 91042

LEGAL DESCRIPTION

LOT 10 OF TRACT NO. 14078
M.B. 292-49-50

PROJECT DATA

EXIST. ZONE: _____ RD3-1
 PROP. ZONE: _____ RD3-1
 GENERAL PLAN LAND USE: _____ LOW MEDIUM I RESIDENTIAL
 EXIST. USE: _____ SINGLE FAMILY AND DETACHED GARAGE
 DETACHED GARAGE
 PROP. USE: _____ 7 NEW SMALL LOT
 4 LOTS BY RIGHT + 3 DENSITY BONUS LOTS
 (2-MARKET RATE + 1 LOW INCOME/MODERATE INCOME)
 2 /EA, TOTAL = 14
 LOT AREA : _____ 13,473.90 SQ. FT. = 0.3093 AC. (WITHIN EX. BORDER)
 12,919.70 SQ. FT. = 0.2966 AC. (AFTER DEDICATION)

NOTES:

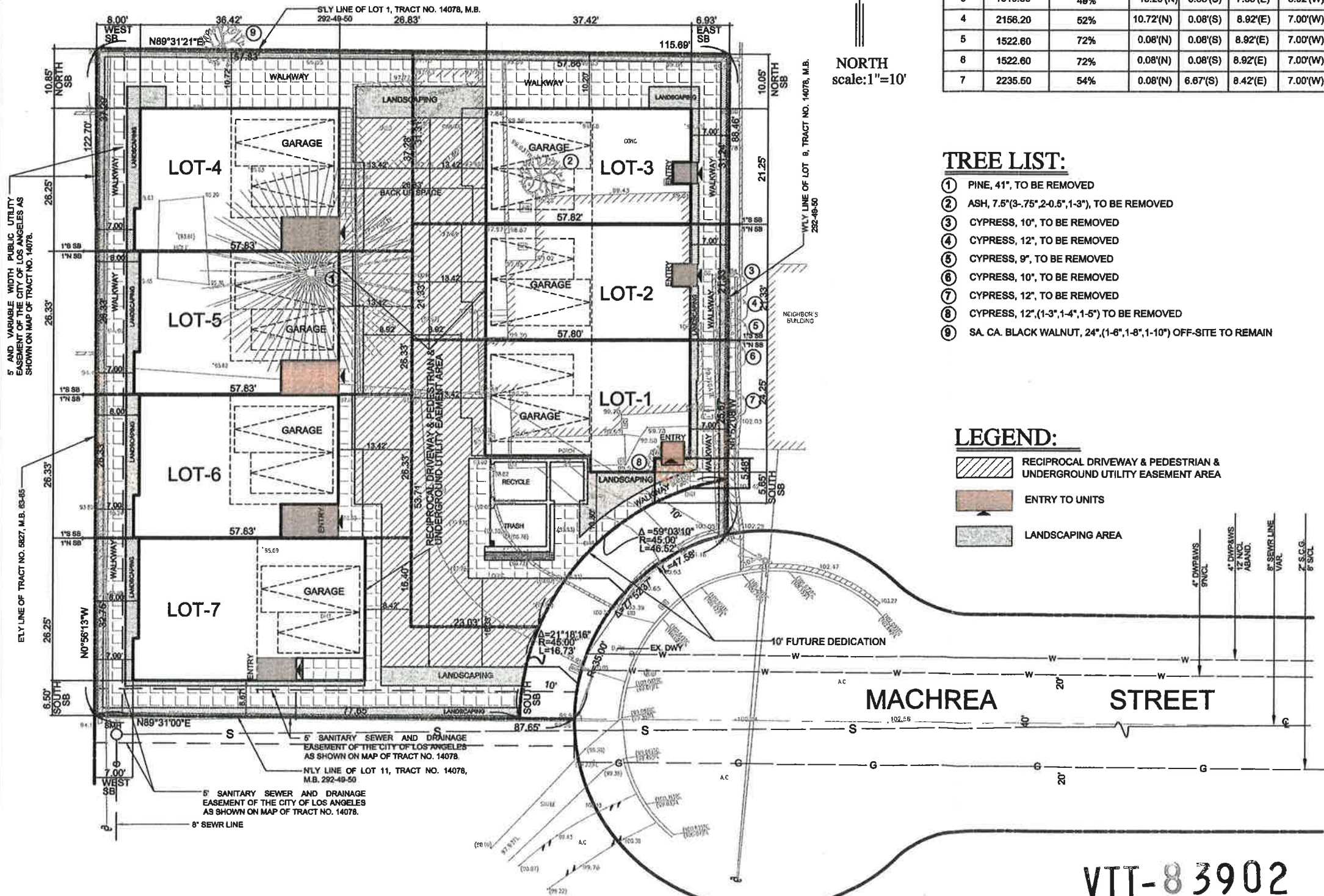
- 1 - WATER SYSTEM: CITY OF L.A. DWP.
- 2 - POWER SYSTEM: CITY OF L.A. DWP.
- 3 - SEWER SYSTEM: CITY OF L.A. DPW.
- 4 - COMMUNITY PLAN AREA: SUNLAND-TUJUNGA LAKE VIEW-TERRACE SHADOW HILLS-EAST LA TUNA CANYON
- 5 - HILLSIDE AREA NOTE: SITE IS NOT LOCATED IN CITY DESIGNATED HILLSIDE AREA (ZONING CODE) HILLSIDE GRADING AREA (BOE): YES
- 6 - TREES: THERE ARE NO PROTECTED TREES AND SHRUBS ON SITE SEE TREE LIST/REPORT
- 7 - THIS SUBDIVISION IS NOT IN A POTENTIALLY DANGEROUS AREA.
- 8 - THIS SUBDIVISION IS NOT LOCATED WITHIN THE VICINITY OF THE MULHOLLAND SCENIC PARKWAY
- 9 - SITE IS RELATIVELY FLAT
- 10 - ALL EXISTING STRUCTURES TO BE REMOVED (1-SFD.-ONE STORY, EX.GARAGE AND SHED)
- 11 - SITE IS NOT IN LIQUEFACTION ZONE
- 12 - ALL EXISTING ON-SITE TREES TO BE REMOVED) SEE TREE LIST
- 13 - NOS. OF PROP. BUILDING : 7, ALL THREE STORY
- 14 - COUNCIL DISTRICT NO. CD-7
- 15 - ASSESSOR PARCEL NO.: 2558-002-015
- 16 - CENSUS TRACT NO.: 1011.10
- 17 - T.G. PAGE: 503, J3
- 18 - DM: 204B193/197

TREE LIST:

- ① PINE, 41", TO BE REMOVED
- ② ASH, 7.5"(3-.75",2-0.5",1-3"), TO BE REMOVED
- ③ CYPRESS, 10", TO BE REMOVED
- ④ CYPRESS, 12", TO BE REMOVED
- ⑤ CYPRESS, 9", TO BE REMOVED
- ⑥ CYPRESS, 10", TO BE REMOVED
- ⑦ CYPRESS, 12", TO BE REMOVED
- ⑧ CYPRESS, 12", (1-3",1-4",1-5") TO BE REMOVED
- ⑨ SA. CA. BLACK WALNUT, 24", (1-6",1-8",1-10") OFF-SITE TO REMAIN

LEGEND:

- ▨ RECIPROCAL DRIVEWAY & PEDESTRIAN & UNDERGROUND UTILITY EASEMENT AREA
- ENTRY TO UNITS
- LANDSCAPING AREA



TENTATIVE APPROVAL

NO: VTT-83902
Approved without conditions
BY: [Signature] 07/10/23
Department of Building & Safety
Grading Division

VESTING TENTATIVE TRACT MAP NO. 83902

TECHNA LAND CO., INC.
 CIVIL ENGINEERING, LAND PLANNING, CONST. MGMT.
 [Signature]
 HAYK MARTIROSIAN
 1545 N. VERDUGO RD. # 2 GLENDALE, CA 91208
 TEL: (818) 547-0543, FAX: (818) 547-1074
 DATE: 7-6-23

VTT-83902

PROPOSED AREAS:

LOT NO:	1	2	3	4	5	6	7
GARAGE	378	378	378	370	370	370	394
1ST FLOOR LIVING	370	327	327	454	454	454	523
2ND FLOOR LIVING	680	660	660	803	822	803	874
3RD FLOOR LIVING	740	740	740	938	938	938	1025
R3 LIVING AREA TOTAL:	1,770	1,727	1,727	2,195	2,214	2,195	2,195
1ST FLOOR COVERED ENTRY:	13	13	13	56	56	56	92
2ND FLOOR COVERED BALCONY:	59	59	59	87	87	87	134
COVERED AREA TOTAL:	72	72	72	143	143	143	226
TOTAL RFA: (S.F.) (400 S.F. GARAGE EXEMPT)	1,842	1,799	1,799	2,338	2,357	2,338	2,421
LOT AREA: (S.F.)	2825	1233	1810.6	2156.2	1522.6	1522.6	2404
LOT COVERAGE: (S.F)	930	891	891	1113	1092	1092	1201
LOT COVERAGE / LOT AREA:	33%	72%	49%	52%	72%	72%	50%

LEGEND:

- (N) NEW CONSTRUCTION
- (N) 2 CAR GARAGE
- (N) 1ST FLOOR LIVING
- (N) 2ND FLOOR LIVING
- (N) 3RD FLOOR LIVING
- (N) LANDSCAPING
- (N) WALKWAY FOR CIVIL
- > PATH TO ENTRY

7 SMALL LOT SUBDIVISION
7665 MACHREA ST.
LOS ANGELES, CA 91042

PROJECT TEAM:

ARMENARC
 1812 W. BURBANK BLVD #148
 BURBANK, CA 91506
 C 818.434.2250
 ARMEN@ARMENARC.COM

LICENSED ARCHITECT
 ARMEN TUTUNDZHANYAN
 C-37632
 ARCHITECTURE
 STATE OF CALIFORNIA

PROPERTY OWNER:
 NERSES YARIJANYAN
 7865 MACHREA ST.
 LOS ANGELES, CA 91042
 (818) 406-1635
 NERO-Y@INBOX.RU

CIVIL ENGINEER:
 TLC, TECHNICAL LAND CO, INC.
 HAYK MARTIROSIAN
 1545 N. VERDUGO RD. #2
 GLENDALE, CA 91208
 (818) 547-0543
 HAYK@TECHNICALAND.COM

SCOPE OF WORK:

- DESIGN EXISTING 4 BED, BATH 1,444 S.F. SINGLE FAMILY RESIDENCE & 220 S.F. DETACHED GARAGE.
- 7 NEW SMALL LOT SUBDIVISION.

SHEET INDEX:

SHEET NO.	SHEET TITLE	ISSUE (SEE BOTTOM OF SHEET)	A	B	C	D
GENERAL						
G-101	COVER SHEET, DWG INDEX, PROJECT INFO	X				
ARCHITECTURAL						
A-101	1ST FLOOR PLAN	X				
A-102	2ND FLOOR PLAN	X				
A-103	3RD FLOOR PLAN	X				
A-104	ROOF FLOOR PLAN	X				
A-201	EXTERIOR ELEVATIONS	X				
A-202	EXTERIOR ELEVATIONS	X				
A-203	EXTERIOR ELEVATIONS	X				
A-301	BUILDING SECTIONS	X				
A-601	WINDOW & DOOR SCHEDULE	X				

APPLICABLE CODES:

- 2020 CITY OF LOS ANGELES BUILDING CODE (LABC).
- 2020 CITY OF LOS ANGELES RESIDENTIAL CODE (LARC).
- 2020 CITY OF LOS ANGELES GREEN BUILDING CODE (LAGBC).
- 2020 CITY OF LOS ANGELES PLUMBING CODE (LAPC).
- 2020 CITY OF LOS ANGELES MECHANICAL CODE (LAMC).
- 2019 CALIFORNIA FIRE CODE (CFC).

LEGAL DESCRIPTION:

LOT(S) & AREA(S)	BLOCK	TRACT(S)
LOT # 10	--	NO. 1467B
APN #	2558-002-015	

ZONING INFO:

LOT AREA	13,473.90 S.F.
EXISTING & PROPOSED ZONE	RD3-1
GENERAL PLAN LAND USE	LOW MEDIUM DENSITY RESIDENTIAL
EXISTING USE	SINGLE FAMILY RESIDENCE WITH DETACHED GARAGE
PROPOSED USE	7 NEW SMALL LOT # (4 BY RIGHT LOTS + 3 DENSITY BONUS LOTS) (1 OF 7 TO BE LOW INCOME)
PARKING	2 EACH, TOTAL 14
COMMON OPEN SPACE: (NOT REQUIRED UNDER 20 UNITS)	1,250 S.F.
LANDSCAPE AREA	1,736 S.F.
LANDSCAPE AREA	1,140 S.F.

*13,473.90 S.F. LOT / 3,000 = 4.49 BY RIGHT UNITS.
 -PROPOSED LOW INCOME PER 12.22% D.C. = WE ROUND UP 4.48 TO 5 UNITS.
 -TO ACHIEVE A DENSITY BONUS OF 21.5% WE MUST PROVIDE 11% LOW INCOME UNITS.
 -THEREFORE, 5 UNITS X 21.5% DENSITY BONUS IS 8.075+ROUND UP TO 7 TOTAL UNITS.
 -1% OF THE 7 UNITS NEED TO BE LOW INCOME = 7% ROUNDED UP TO 1 UNIT LOW INCOME.
 7 TOTAL UNITS, 1 OF WHICH NEEDS TO BE LOW INCOME.

LANDSCAPING LEGEND:

BOTANICAL NAME / COMMON NAME	SIZE	QTY.	AS NEEDED
FICUS FUMIDA, CREEPING FIG	1 GAL. @ 10" O.C.	40	
PARKINSONIA DESERT MUSEUM, PALO VERDE	48 BOX.		
DODDONAEA VISCOSA, BROADLEAF HOPBUSH	15 GAL.	4	
ALYOGYNE HUJUELEA, BLUE HIBISCUS	5 GAL.	13	
SENECIO SERPENS	FLAT	AS NEEDED	

VICINITY MAP:

PROJECT TITLE:
MACHREA
7 SMALL LOT SFR

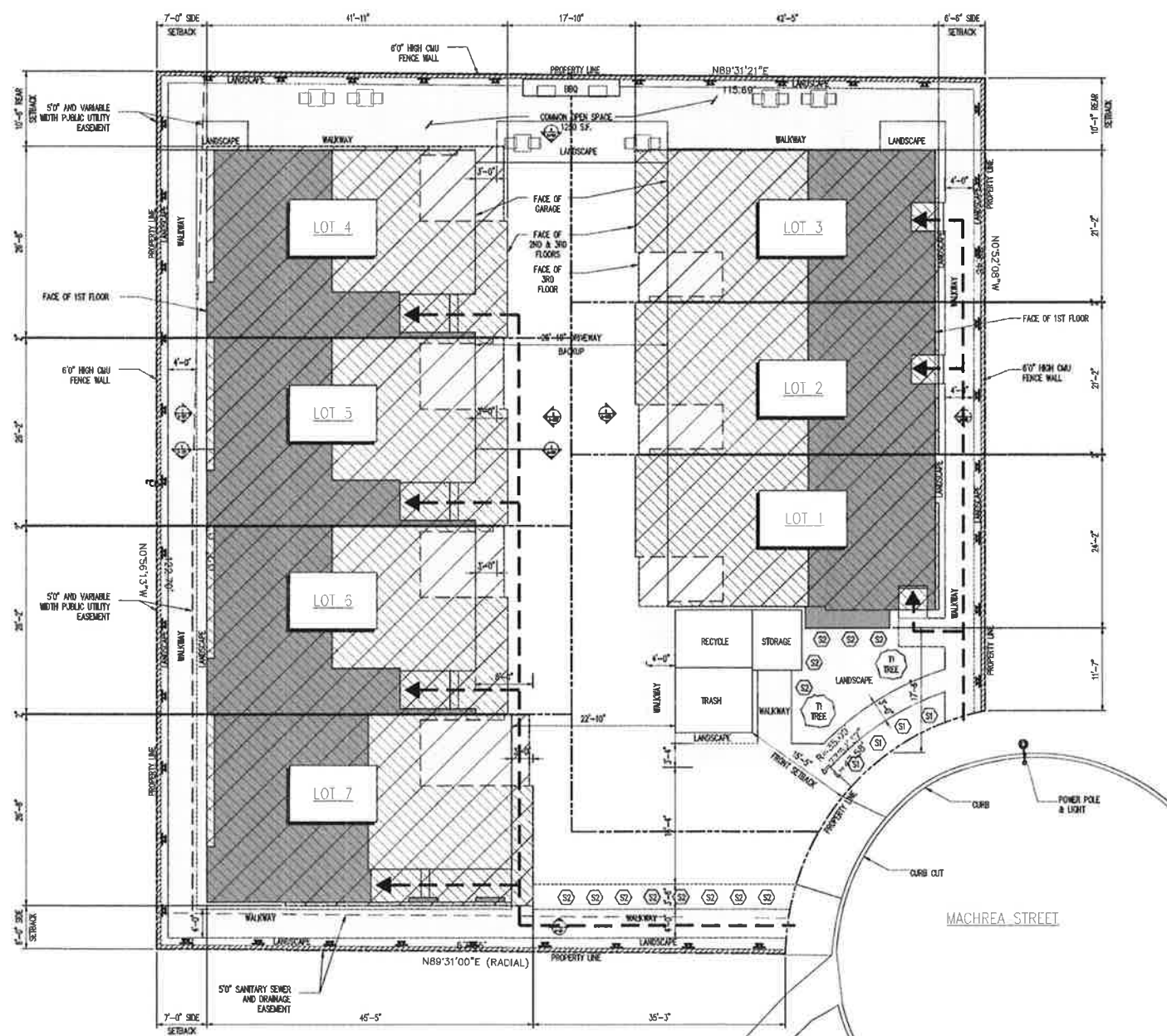
PROJECT ADDRESS:
 7665 MACHREA ST.
 LOS ANGELES, CA 91042

NO. ISSUED FOR:

JOB NO.:	20034
DRAWN BY:	A.T.
CHECKED BY:	A.T.
DATE:	03-22-23

SHEET DESCRIPTION:
 SITE PLAN
 COVER SHEET

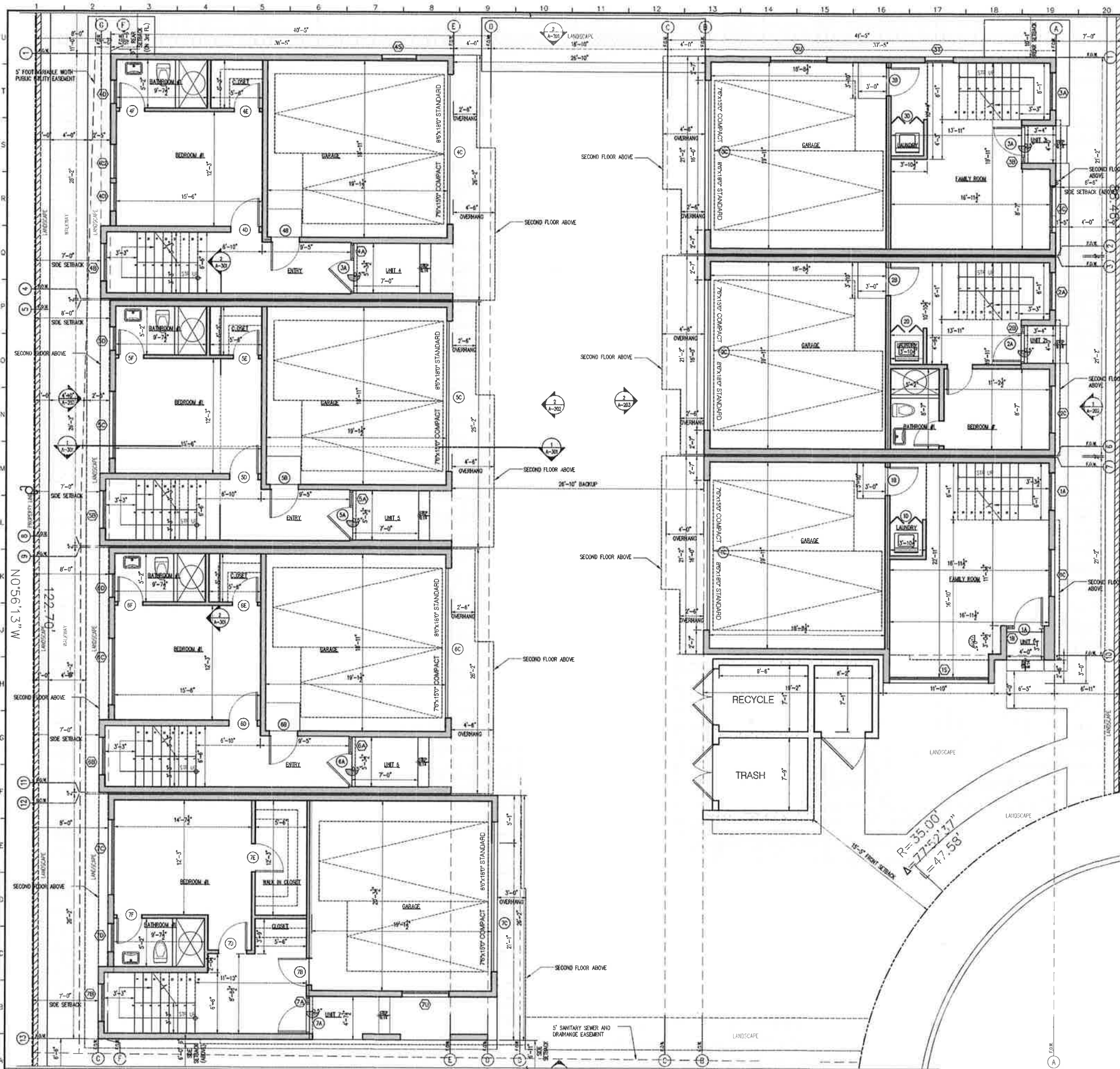
SHEET NUMBER:
G-101



VTT-83902

SITE PLAN

SCALE:
 1/8" = 1'-0"



NOTES:

1. PROVIDE ULTRA LOW FLUSH WATER CLOSET FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION. ALL NEWLY INSTALLED PLUMBING FIXTURES SHALL COMPLY WITH TABLE 9.303.2.
2. MINIMUM 70° HT. NON-ABSORBENT WALL (TILE) REQUIRED ADJACENT TO SHOWER AND APPROVED SHOWER-RESISTANT MATERIALS SHALL BE PROVIDED FOR SHOWER ENCLOSURE.
3. ALL NEW WINDOWS SHALL BE DOUBLE PANE UNLESS OTHERWISE NOTED.
4. PROVIDE FIBER GLASS BATT INSULATION IN NEW AREAS AS FOLLOWS:
 - a. R-13 IN ALL NEW STUD WALLS
 - b. R-30 IN ROOF - WITH ATIC
 - c. R-18 IN RAISED FLOOR
5. INSTALL GFCI OUTLETS IN NEW BATHROOMS.
6. SMOKE DETECTORS SHALL BE PROVIDED AS FOLLOWS:
 - a. IN NEW CONSTRUCTION SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK-UP AND LOW BATTERY SIGNAL. SMOKE DETECTORS SHALL BE LOCATED IN EACH SLEEPING ROOM, HALLWAY AND AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLING WITH MORE THAN ONE STORY.
 - b. IN EXISTING CONSTRUCTION SMOKE DETECTORS MAY BE BATTERY OPERATED, INSTALLED IN LOCATIONS AS SPECIFIED ABOVE.
7. CARBON MONOXIDE DETECTOR. INSTALL CARBON MONOXIDE DETECTOR IN THE LIVING SPACE NEAR THE BEDROOM. DETECTORS ARE REQUIRED IN DWELLINGS WHERE FUEL BURNING APPLIANCES ARE INSTALLED. CARBON MONOXIDE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING ELECTRICAL AND HAVE A BATTERY BACKUP. CARBON MONOXIDE DETECTORS SHALL COMPLY WITH UL2034 AND/OR NFPA 720. CO DETECTORS SHALL BE INSTALLED A MINIMUM OF FIVE (5) FEET ABOVE FINISH GRADE, CA RESIDENTIAL CODE 2016 CHAPTER 3 SECT. 915.
8. WATER HEATER MUST BE SECOND STRIPPED TO WALL IN TWO PLACES. ONE IN THE UPPER 1/3 OF THE TANK, THE LOWER POINT SHALL BE A MINIMUM OF 4 INCHES ABOVE THE CONTROL. A RAT VALVE PIPE TO THE EXTERIOR, A MINIMUM 50 INCHES VENT IN THE TOP & BOTTOM OF THE W/H COMPARTMENT.
9. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (ROOF).
10. KITCHEN SINKS, LAUNDRIES, BATHROOMS, SHOWERS, BOWLS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R3006.4).
11. BATHROOMS AND SHOWER FLOORS, WALLS ABOVE BATHROOMS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).
12. ALL NEWLY INSTALLED PLUMBING FIXTURES SHALL COMPLY WITH TABLE 9.203.2.
13. EACH NEW APPLIANCE PROVIDED SHALL BE "ENERGY STAR" COMPLIANT.
14. HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68°F AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE. (R303.8)
15. BATHROOM EXHAUST FAN SHALL COMPLY WITH THE FOLLOWING:
 - a. FANS BE "ENERGY STAR" COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
 - b. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.
16. THE PANEL OR SUB-PANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM RATED CIRCUIT OVERCURRENT PROTECTIVE DEVICE (RESERVED TO PERMIT INSTALLATION OF A BRANCHED CIRCUIT OVERCURRENT PROTECTIVE DEVICE).
17. THE SERVICE PANEL OR SUB-PANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICES (SPACES) RESERVED FOR FUTURE BY CHARGING AS IS CAPABLE. THE RATED TERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED "BY CAPABLE".
18. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (R316.1)
19. PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R317.1 BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPINDLES, POSTS, PRESERVATIVES AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.
20. PROVIDE ANTI-GRAFT FINISH WITHIN THE FIRST 8 FT., MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS.
21. IF ADVERSE SOIL CONDITIONS ARE ENCOUNTERED, A SOILS INVESTIGATION REPORT MAY BE REQUIRED.

- LEGEND:**
- NEW SMOKE DETECTOR SEE NOTE #4.
 - CARBON MONOXIDE DETECTOR SEE NOTE #7.
 - EXHAUST FAN CAPABLE OF MINIMUM 50 CFM EXHAUSTING DIRECTLY TO THE OUTSIDE. SEE NOTE #15, CONTROLLED BY HUMIDISTAT, ENERGY STAR COMPLIANT.
 - NEW CONSTRUCTION
 - EXISTING CONSTRUCTION
 - (H) 2X @ 16" O.C. WOOD STUD WALL, U.A.O.
 - STAMPED CONCRETE PATTERN

PROJECT TEAM:

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AS INSTRUMENT OF SERVICE, ALL DESIGN, PREP AND PROFESSIONAL SERVICES, INCLUDING BUT NOT LIMITED TO THE PREPAREDNESS OF THESE DRAWINGS, AND ANY OTHER SERVICES, ARE HEREBY GRANTED TO THE CLIENT BY THE ARCHITECT FOR THE PROJECT DESCRIBED HEREIN. THE ARCHITECT'S LIABILITY IS LIMITED TO THE SERVICES DESCRIBED IN THIS INSTRUMENT OF SERVICE AND TO THE EXTENT OF THE ARCHITECT'S PROFESSIONAL LIABILITY INSURANCE COVERAGE.

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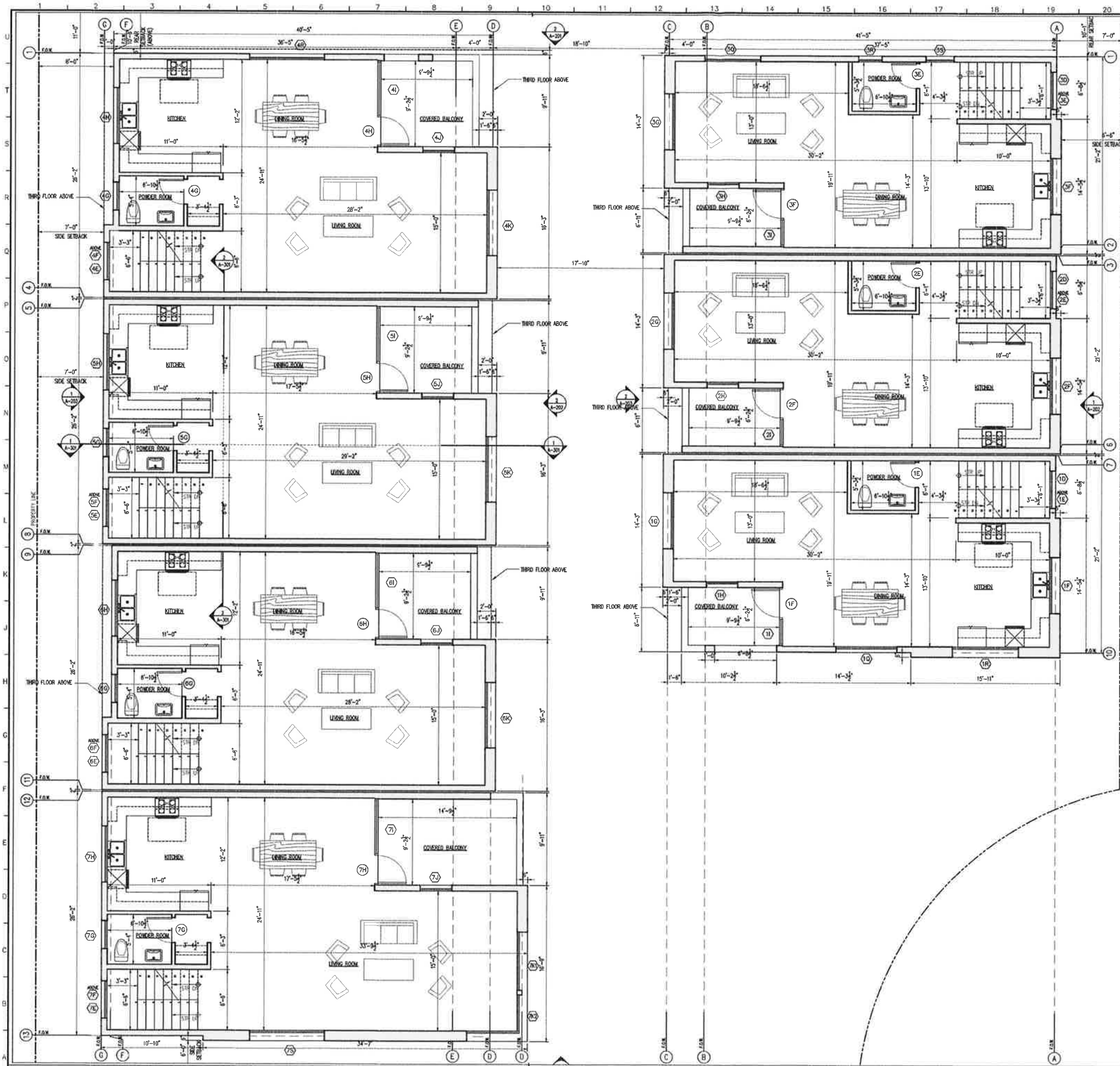
PROJECT TITLE:
 MACHREA
 7 SMALL LOT SFR

PROJECT ADDRESS:
 7865 MACHREA ST.
 LOS ANGELES, CA 91042

NO.	ISSUED FOR:

JOB NO.	20034
DRAWN BY:	A.T.
CHECKED BY:	A.T.
DATE:	03-22-23
SHEET DESCRIPTION:	FIRST FLOOR PLAN
SHEET NUMBER:	A-111

FIRST FLOOR PLAN



SECOND FLOOR PLAN

- NOTES:**
1. PROVIDE ULTRA LOW FLUSH WATER CLOSET FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION. ALL NEWLY INSTALLED PLUMBING FIXTURES SHALL COMPLY WITH TABLE 9.303.2.
 2. MINIMUM 70" HGT. NON-ABSORBENT WALL (TILE) REQUIRED ADJACENT TO SHOWER AND APPROVED SHOWER-RESISTANT MATERIALS SHALL BE PROVIDED FOR SHOWER ENCLOSURE.
 3. ALL NEW WINDOWS SHALL BE DOUBLE PANE UNLESS OTHERWISE NOTED.
 4. PROVIDE FIBER GLASS BATT INSULATION IN NEW AREAS AS FOLLOWS:
 a. R-13 IN ALL NEW SOLID WALLS
 b. R-30 IN ROOF - WITH ATIC
 c. R-19 IN RAISED FLOOR
 5. INSTALL GFI OUTLETS IN NEW BATHROOMS.
 a. IN NEW CONSTRUCTION SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK-UP AND LOW BATTERY SIGNAL. SMOKE DETECTORS SHALL BE LOCATED IN EACH SLEEPING ROOM, HALLWAY AND AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLING WITH MORE THAN ONE STORY.
 b. IN EXISTING CONSTRUCTION SMOKE DETECTORS MAY BE BATTERY OPERATED, INSTALLED IN LOCATIONS AS SPECIFIED ABOVE.
 7. CARBON MONOXIDE DETECTOR. INSTALL CARBON MONOXIDE DETECTOR IN THE LIVING SPACE NEAR THE BEDROOM. DETECTORS ARE REQUIRED IN DWELLINGS WHERE FUEL BURNING APPLIANCES ARE INSTALLED. CARBON MONOXIDE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING ELECTRICAL AND HAVE A BATTERY BACKUP. CARBON MONOXIDE DETECTORS SHALL COMPLY WITH UL2034 AND/OR NFPA 720. CO DETECTORS SHALL BE INSTALLED AT A MINIMUM OF FIVE (5) FEET ABOVE FINISH GRADE. CA RESIDENTIAL CODE 2016 CHAPTER 3 SEC. 315.
 8. WATER HEATER MUST BE SECURELY STRAPPED TO WALL IN TWO PLACES, ONE IN THE UPPER 1/3 OF THE TANK. THE LOWER POINT SHALL BE A MINIMUM OF 4 INCHES ABOVE THE CONTROLS. A TIT VALVE PIPE TO THE EXTERIOR. A MINIMUM 3/4" VENT IN THE TOP & BOTTOM OF THE W/H COMPARTMENT.
 9. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (RABIS).
 10. KITCHEN SINKS, LAUNDRIES, BATHROOMS, SHOWERS, BREEZES, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4).
 11. BATHING AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).
 12. ALL NEWLY INSTALLED PLUMBING FIXTURES SHALL COMPLY WITH TABLE 9.303.2.
 13. EACH NEW APPLIANCE PROVIDED SHALL BE "ENERGY STAR" COMPLIANT.
 14. HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68°F AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE. (R303.8)
 15. BATHROOM EXHAUST FAN SHALL COMPLY WITH THE FOLLOWING:
 15.1 FANS BE "ENERGY STAR" COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
 15.2 FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.
 16. THE PANEL OR SUB-PANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM INDICATED BRANCH CIRCUIT AND SPACED) RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE.
 17. THE SERVICE PANEL OR SUB-PANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE (S) RESERVED FOR FUTURE BY CHARGING AS BY CAPABLE. THE RESERVATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED "BY CAPABLE".
 18. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (R319.1)
 19. PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R317.1 BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH ANPA U1 FOR THE SPECIES, PRODUCTS, PRESERVATIVES AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF ANPA U1.
 20. PROVIDE ANTI-DRAWER FINISH WITHIN THE FIRST 6 FT. MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS.
 21. IF ADVERSE SOIL CONDITIONS ARE ENCOUNTERED, A SOILS INVESTIGATION REPORT MAY BE REQUIRED.

- LEGEND:**
- ⊙ NEW SMOKE DETECTOR SEE NOTE #6
 - S.D. CARBON MONOXIDE DETECTOR SEE NOTE #7
 - C.O.
 - ⊙ EXHAUST FAN CAPABLE OF MINIMUM 50 CFM EXHAUSTING DIRECTLY TO THE OUTSIDE. SEE NOTE #15, CONTROLLED BY HUMIDISTAT. ENERGY STAR COMPLIANT
 - (N) NEW CONSTRUCTION (E) EXISTING CONSTRUCTION
 - (N) 2X @ 16" O.C. WOOD STUD/WALL, U.A.O.
 - ▭ STAMPED CONCRETE PATTERN

PROJECT TEAM:

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CIVIL ENGINEER:
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PROJECT TITLE:
**MACHREA
 7 SMALL LOT SFR**

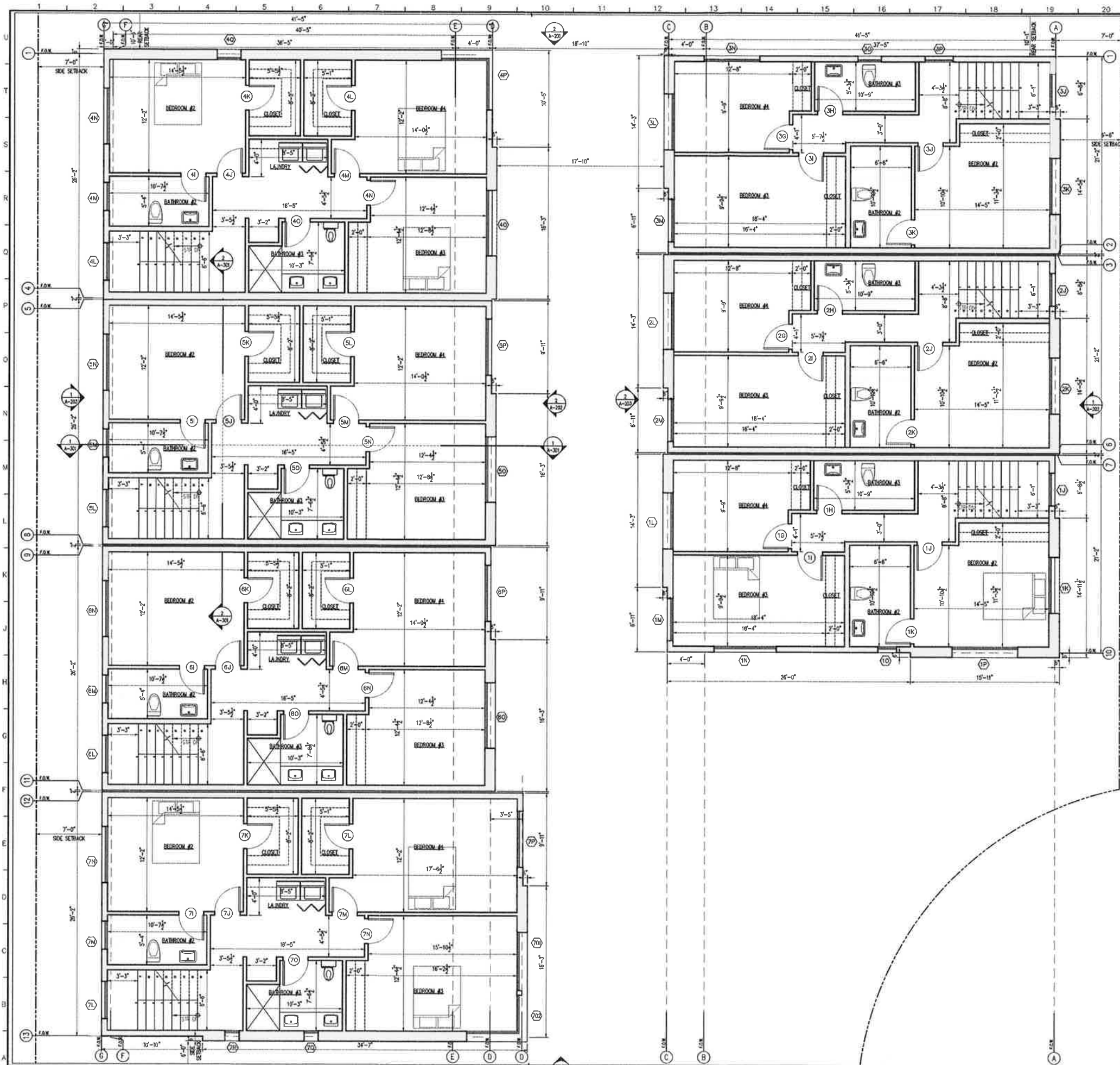
PROJECT ADDRESS:
 7865 MACHREA ST.
 LOS ANGELES, CA 91042

NO. ISSUED FOR:

JOB NO.: 20034
 DRAIN BY: A.T.
 CHECKED BY: A.T.
 DATE: 03-22-23

SHEET DESCRIPTION:
 SECOND FLOOR PLAN

SHEET NUMBER:
A-112



- NOTES:**
1. PROVIDE ULTRA LOW FLUSH WATER CLOSET FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TUBS MUST BE ADAPTED FOR LOW WATER CONSUMPTION. ALL NEWLY INSTALLED PLUMBING FIXTURES SHALL COMPLY WITH TABLE 9.303.2.
 2. MINIMUM 70" NOT NON-ABSORBENT WALL (TILE) REQUIRED ADJACENT TO SHOWER AND APPROVED SHOWER-RESISTANT MATERIALS SHALL BE PROVIDED FOR SHOWER ENCLOSURE.
 3. ALL NEW WINDOWS SHALL BE DOUBLE PANE UNLESS OTHERWISE NOTED.
 4. PROVIDE FIBER GLASS BATT INSULATION IN NEW AREAS AS FOLLOWS:
 - a. R-13 IN ALL NEW STUD WALLS
 - b. R-30 IN ROOF - WITH ATIK
 - c. R-18 IN RAISED FLOOR
 5. INSTALL GFI OUTLETS IN NEW BATHROOMS
 6. SMOKE DETECTORS SHALL BE PROVIDED AS FOLLOWS:
 - a. IN NEW CONSTRUCTION SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK-UP AND LOW BATTERY SIGNAL. SMOKE DETECTORS SHALL BE LOCATED IN EACH SLEEPING ROOM, HALLWAY AND AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLING WITH MORE THAN ONE STORY.
 - b. IN EXISTING CONSTRUCTION SMOKE DETECTORS MAY BE BATTERY OPERATED, INSTALLED IN LOCATIONS AS SPECIFIED ABOVE.
 7. CARBON MONOXIDE DETECTOR. INSTALL CARBON MONOXIDE DETECTOR IN THE LIVING SPACE NEAR THE BEDROOM. DETECTORS ARE REQUIRED IN DWELLINGS WHERE FUEL BURNING APPLIANCES ARE INSTALLED. CARBON MONOXIDE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING ELECTRICAL AND HAVE A BATTERY BACKUP. CARBON MONOXIDE DETECTORS SHALL COMPLY WITH UL2034 AND/OR NFPA 720. CO DETECTORS SHALL BE INSTALLED A MINIMUM OF FIVE (5) FEET ABOVE FINISH GRADE. CA RESIDENTIAL CODE 2016 CHAPTER 3 SEC. 315
 8. WATER HEATER MUST BE SECURELY STRAPPED TO WALL IN TWO PLACES, ONE IN THE UPPER 1/3 OF THE TANK, THE LOWER POINT SHALL BE A MINIMUM OF 4 INCHES ABOVE THE CONTROLS. A TRAP VALVE PIPE TO THE EXTERIOR, A MINIMUM 50 SQ. INCHES VENT, IN THE TOP & BOTTOM OF THE W/H COMPARTMENT.
 9. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (RIGGS).
 10. KITCHEN SINKS, LAUNDRIES, BATHROOMS, SHOWERS, BOOTIES, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY. (20304.4)
 11. BATHROOM AND SHOWER FLOORING SHALL BE ABOVE BATHROOMS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR. (20307.2)
 12. ALL NEWLY INSTALLED PLUMBING FIXTURES SHALL COMPLY WITH TABLE 9.303.2
 13. EACH NEW APPLIANCE PROVIDED SHALL BE "ENERGY STAR" COMPLIANT.
 14. HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68F AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE. (20304.3)
 15. BATHROOM EXHAUST FAN SHALL COMPLY WITH THE FOLLOWING:
 - a. SHALL BE "ENERGY STAR" COMPLIANT AND BE DESIGNED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
 - b. SHALL BE FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.
 16. THE PANEL OR SUB-PANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM (INDICATED BREAKER CIRCUIT AND SPACES) RESERVED TO PERMIT INSTALLATION OF A BRANCHED CIRCUIT OVERCURRENT PROTECTIVE DEVICE.
 17. THE SERVICE PANEL OR SUB-PANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICES (SPACES) RESERVED FOR FUTURE BY CHARGING AS BY CAPABLE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED "BY CAPABLE".
 18. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (316.1)
 19. PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R071.1 BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVES AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.
 20. PROVIDE ANTI-DRAWN FINISH WITHIN THE FIRST 3 FT, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS.
 21. IF ADVERSE SOIL CONDITIONS ARE ENCOUNTERED, A SOILS INVESTIGATION REPORT MAY BE REQUIRED.

- LEGEND:**
- NEW SMOKE DETECTOR SEE NOTE #6
 - S.D.
 - C.O.
 - CARBON MONOXIDE DETECTOR SEE NOTE #7
 - EXHAUST FAN CAPABLE OF MINIMUM 50 CFM EXHAUSTING DIRECTLY TO THE OUTSIDE, SEE NOTE #15, CONTROLLED BY HUMIDISTAT, ENERGY STAR COMPLIANT
 - (N) NEW CONSTRUCTION (E) EXISTING CONSTRUCTION
 - (H) 2X @ 16" O.C. WOOD STUDWALL, U.N.O.
 - ▭ STAMPED CONCRETE PATTERNS

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PROJECT TITLE:
**MACHREA
7 SMALL LOT SFR**

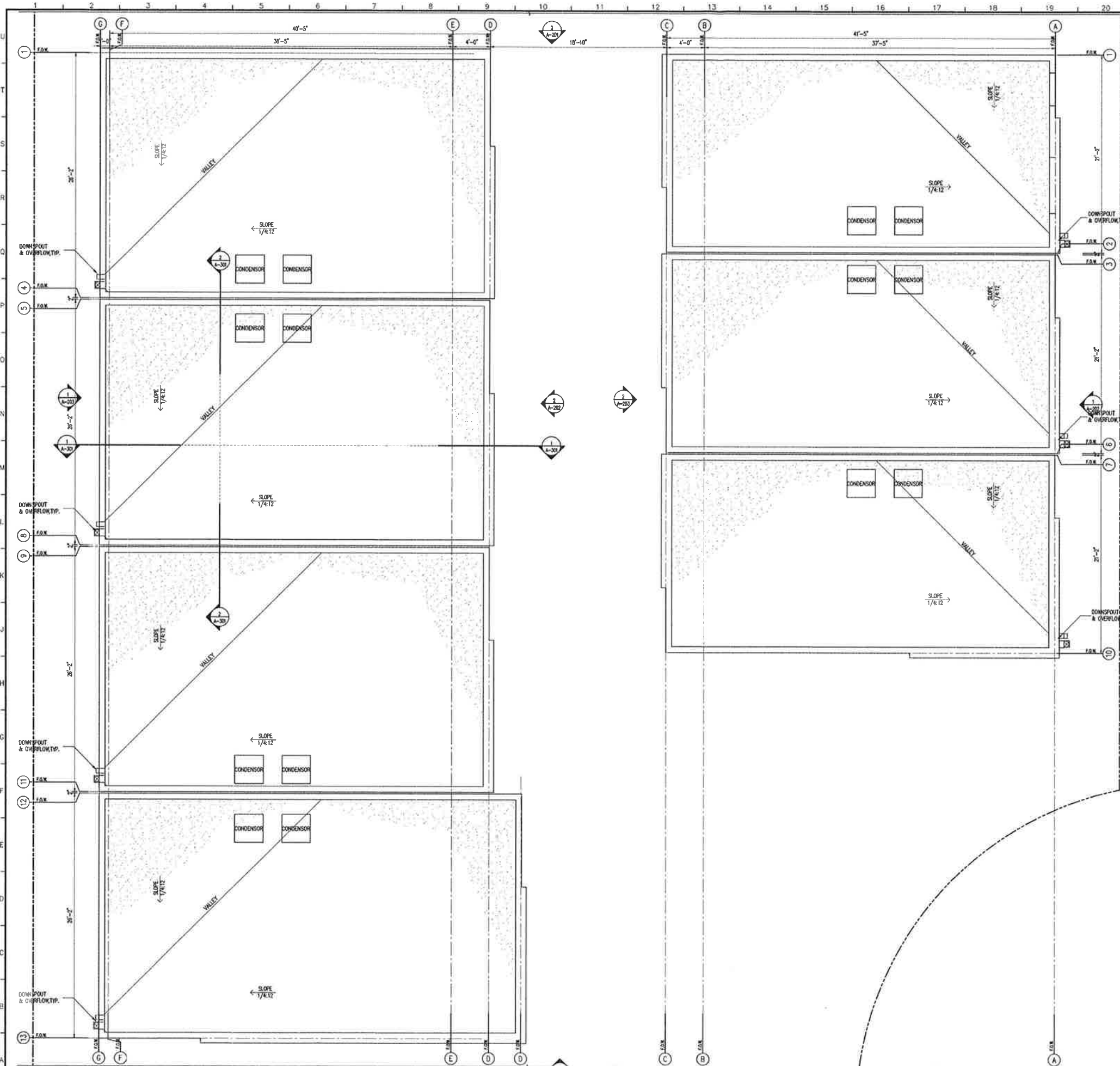
PROJECT ADDRESS:
7685 MACHREA ST.
LOS ANGELES, CA 91042

NO.	ISSUED FOR:

JOB NO.: 20034
DRAWN BY: A.T.
CHECKED BY: A.T.
DATE: 03-22-23
SHEET DESCRIPTION:
THIRD FLOOR PLAN

SHEET NUMBER:
A-113

THIRD FLOOR PLAN



LEGEND:

- NO. 18. SLATE GRAY STATE-HELD BY REINFORCED MEMBRANE OF 1/4" SD19-ODX, CLASS A MR. EX-LSP #443. TOTAL PER MANUFACTURER'S RECOMMENDATION & EC REPORT OR EQUAL.

PROJECT TEAM:

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PROJECT TITLE:
**MACHREA
 7 SMALL LOT SFR**

PROJECT ADDRESS:
 7685 MACHREA ST.
 LOS ANGELES, CA 91042

NO.	ISSUED FOR:

JOB NO.: 20034
 DRAWN BY: A.T.
 CHECKED BY: A.T.
 DATE: 03-22-23

SHEET DESCRIPTION:
 ROOF PLAN
 SINGLE FAMILY RESIDENCE

SHEET NUMBER:
A-131

SINGLE FAMILY RESIDENCE ROOF PLAN
 SCALE: 1/4"=1'-0" 1

File Location: C:\Users\arj\Dropbox\ARMENARC\0000 - Resident\00000 - MFR\0000 - MFR - Los Angeles City\21028 - 7685 Machrea St. Los Angeles, CA 91042\Drawings\A-131 ROOF PLAN.dwg Last Saved: March 22, 2023, by arjuf Printed: Thursday, March 23, 2023 12:09:54 PM by arjuf

PROJECT TEAM:
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PROJECT TITLE:
**MACHREA
 7 SMALL LOT SFR**

PROJECT ADDRESS:
 7665 MACHREA ST.
 LOS ANGELES, CA 91042

NO.	ISSUED FOR

JOB NO.:	20034
DRAWN BY:	A.T.
CHECKED BY:	A.T.
DATE:	03-22-23

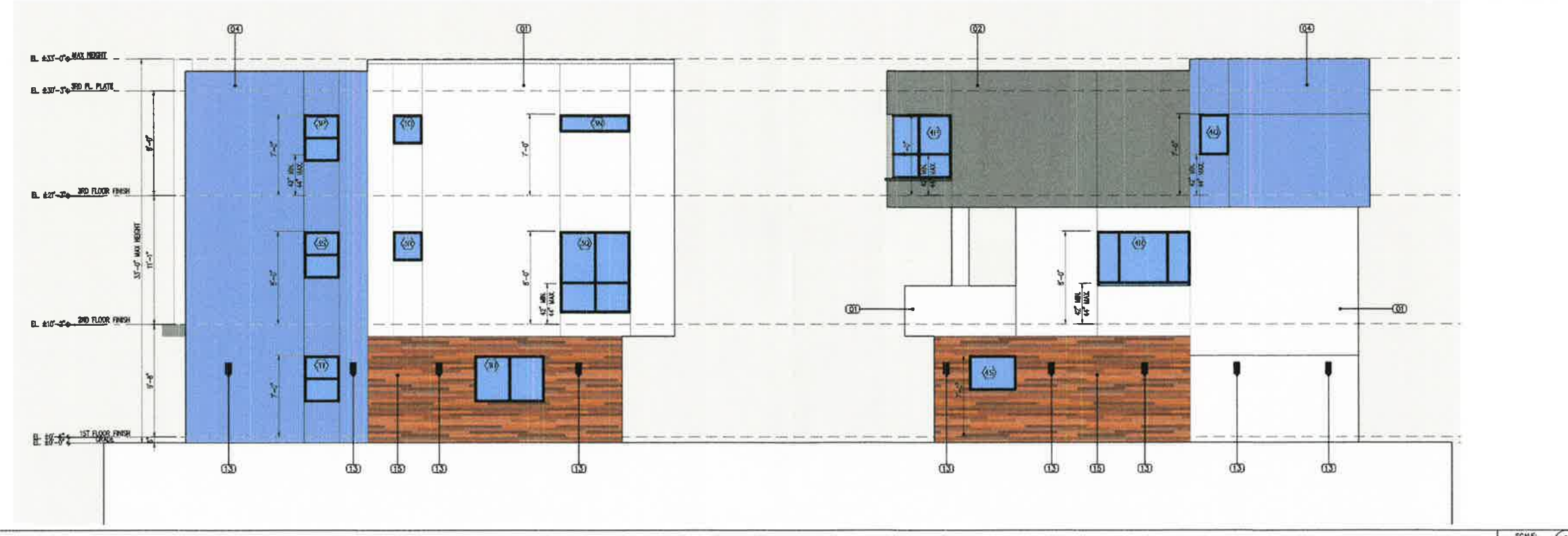
SHEET DESCRIPTION:
 ELEVATIONS

SHEET NUMBER:
A-201



SOUTH ELEVATION

SCALE:
 1/4"=1'-0" 1



NORTH ELEVATION

SCALE:
 1/4"=1'-0" 2

EXTERIOR FINISH SCHEDULE:

TAG	MATERIAL	COLOR	MANF. / SUPPLIER
13	SUM 12 DOWNLIGHT	BLACK	RAB LIGHTING OR EQ.
14	ALUMINUM REVERSE CHANNEL ADDRESS NUMBERS	BLACK	TBD
15	COMPOSITE PANEL WITH WOOD FINISH	TIMBER SERIES, TEAK	APOLIC OR EQUAL

EXTERIOR FINISH SCHEDULE:

TAG	MATERIAL	COLOR	MANF. / SUPPLIER
07	SMOOTH EXTERIOR PLASTER	TURQUOISE	LA HABRA OR EQUAL
08	SMOOTH EXTERIOR PLASTER	BLUE	LA HABRA OR EQUAL
09	SMOOTH EXTERIOR PLASTER	ORANGE	LA HABRA OR EQUAL
10	SMOOTH EXTERIOR PLASTER	RED	LA HABRA OR EQUAL
11	SMOOTH EXTERIOR PLASTER	MAGENTA	LA HABRA OR EQUAL
12	SMOOTH EXTERIOR PLASTER	BLACK	LA HABRA OR EQUAL

EXTERIOR FINISH SCHEDULE:

TAG	MATERIAL	COLOR	MANF. / SUPPLIER
01	SMOOTH EXTERIOR PLASTER	WHITE	LA HABRA OR EQUAL
02	SMOOTH EXTERIOR PLASTER	COAL MINER DET613	LA HABRA OR EQUAL
03	SMOOTH EXTERIOR PLASTER	DARK GREY CHARCOAL	LA HABRA OR EQUAL
04	SMOOTH EXTERIOR PLASTER	JADED CLOUDS DES703	LA HABRA OR EQUAL
05	SMOOTH EXTERIOR PLASTER	YELLOW	LA HABRA OR EQUAL
06	SMOOTH EXTERIOR PLASTER	GREEN	LA HABRA OR EQUAL



EAST ELEVATION #1 (UNITS 1,2,3)

SCALE: 1/4"=1'-0" 1



EAST ELEVATION #2 (UNITS 7,6,5,4)

SCALE: 1/4"=1'-0" 2

EXTERIOR FINISH SCHEDULE:

TAG	MATERIAL	COLOR	MANF. / SUPPLIER
13	SLIM 12 DOWNLIGHT	BLACK	RAB LIGHTING OR EQ.
14	ALUMINUM REVERSE CHANNEL ADDRESS NUMBERS	BLACK	TBO
15	COMPOSITE PANEL WITH WOOD FINISH	TIMBER SERIES, TEAK	APOLIC OR EQUAL

EXTERIOR FINISH SCHEDULE:

TAG	MATERIAL	COLOR	MANF. / SUPPLIER
07	SMOOTH EXTERIOR PLASTER	TURQUOISE	LA HABRA OR EQUAL
08	SMOOTH EXTERIOR PLASTER	BLUE	LA HABRA OR EQUAL
09	SMOOTH EXTERIOR PLASTER	ORANGE	LA HABRA OR EQUAL
10	SMOOTH EXTERIOR PLASTER	RED	LA HABRA OR EQUAL
11	SMOOTH EXTERIOR PLASTER	MAGENTA	LA HABRA OR EQUAL
12	SMOOTH EXTERIOR PLASTER	BLACK	LA HABRA OR EQUAL

EXTERIOR FINISH SCHEDULE:

TAG	MATERIAL	COLOR	MANF. / SUPPLIER
01	SMOOTH EXTERIOR PLASTER	WHITE	LA HABRA OR EQUAL
02	SMOOTH EXTERIOR PLASTER	COAL MINER DET013	LA HABRA OR EQUAL
03	SMOOTH EXTERIOR PLASTER	DARK GREY CHARCOAL	LA HABRA OR EQUAL
04	SMOOTH EXTERIOR PLASTER	JADED CLOUDS DES703	LA HABRA OR EQUAL
05	SMOOTH EXTERIOR PLASTER	YELLOW	LA HABRA OR EQUAL
06	SMOOTH EXTERIOR PLASTER	GREEN	LA HABRA OR EQUAL

PROJECT TEAM:
ARMENARC
 1812 W. BURBANK BLVD #148
 BURBANK, CA 91506
 C.818.434.2250
 ARMEN@ARMENARC.COM



PROPERTY OWNER:
 NERSES YARLUJANYAN
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 LOS ANGELES, CA 91042
 (818) 406-1935
 NERO-Y@INBOX.RU

CIVIL ENGINEER:
 T.L.C. TECHNICAL CO., INC.
 HAYK MARTIROSIAN
 1545 N. VERDUGO RD. #2
 GLENDALE, CA 91208
 (818) 547-0543
 HAYK@TECHNICALAND.COM

PROJECT TITLE:
MACHREA
 7 SMALL LOT SFR

PROJECT ADDRESS:
 7665 MACHREA ST.
 LOS ANGELES, CA 91042

NO.	ISSUED FOR:

JOB NO.: 20034
 DRAWN BY: A.T.
 CHECKED BY: A.T.
 DATE: 03-22-23
 SHEET DESCRIPTION:
 ELEVATIONS

SHEET NUMBER:
A-202



WEST ELEVATION #1 (UNITS 4,5,6,7)

SCALE: 1/4"=1'-0" 1



WEST ELEVATION #2 (UNITS 3,2,1)

SCALE: 1/4"=1'-0" 2

EXTERIOR FINISH SCHEDULE:			
TAG	MATERIAL	COLOR	MANF. / SUPPLIER
13	SLIM 12 DOWNLIGHT	BLACK	RAB LIGHTING OR EQ.
14	ALUMINUM REVERSE CHANNEL ADDRESS NUMBERS	BLACK	TBD
15	COMPOSITE PANEL WITH WOOD FINISH	TIMBER SERIES, TEAK	APOLIC OR EQUAL

EXTERIOR FINISH SCHEDULE:			
TAG	MATERIAL	COLOR	MANF. / SUPPLIER
07	SMOOTH EXTERIOR PLASTER	TURQUOISE	LA HABRA OR EQUAL
08	SMOOTH EXTERIOR PLASTER	BLUE	LA HABRA OR EQUAL
09	SMOOTH EXTERIOR PLASTER	ORANGE	LA HABRA OR EQUAL
10	SMOOTH EXTERIOR PLASTER	RED	LA HABRA OR EQUAL
11	SMOOTH EXTERIOR PLASTER	MACENTA	LA HABRA OR EQUAL
12	SMOOTH EXTERIOR PLASTER	BLACK	LA HABRA OR EQUAL

EXTERIOR FINISH SCHEDULE:			
TAG	MATERIAL	COLOR	MANF. / SUPPLIER
01	SMOOTH EXTERIOR PLASTER	WHITE	LA HABRA OR EQUAL
02	SMOOTH EXTERIOR PLASTER	COAL MINER DET613	LA HABRA OR EQUAL
03	SMOOTH EXTERIOR PLASTER	DARK GREY CHARCOAL	LA HABRA OR EQUAL
04	SMOOTH EXTERIOR PLASTER	JANED CLOUDS DES703	LA HABRA OR EQUAL
05	SMOOTH EXTERIOR PLASTER	YELLOW	LA HABRA OR EQUAL
06	SMOOTH EXTERIOR PLASTER	GREEN	LA HABRA OR EQUAL

PROJECT TEAM:
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 (818) 547-0543
 HAYK@TECHNICALAND.COM

PROJECT TITLE:
MACHREA
7 SMALL LOT SFR

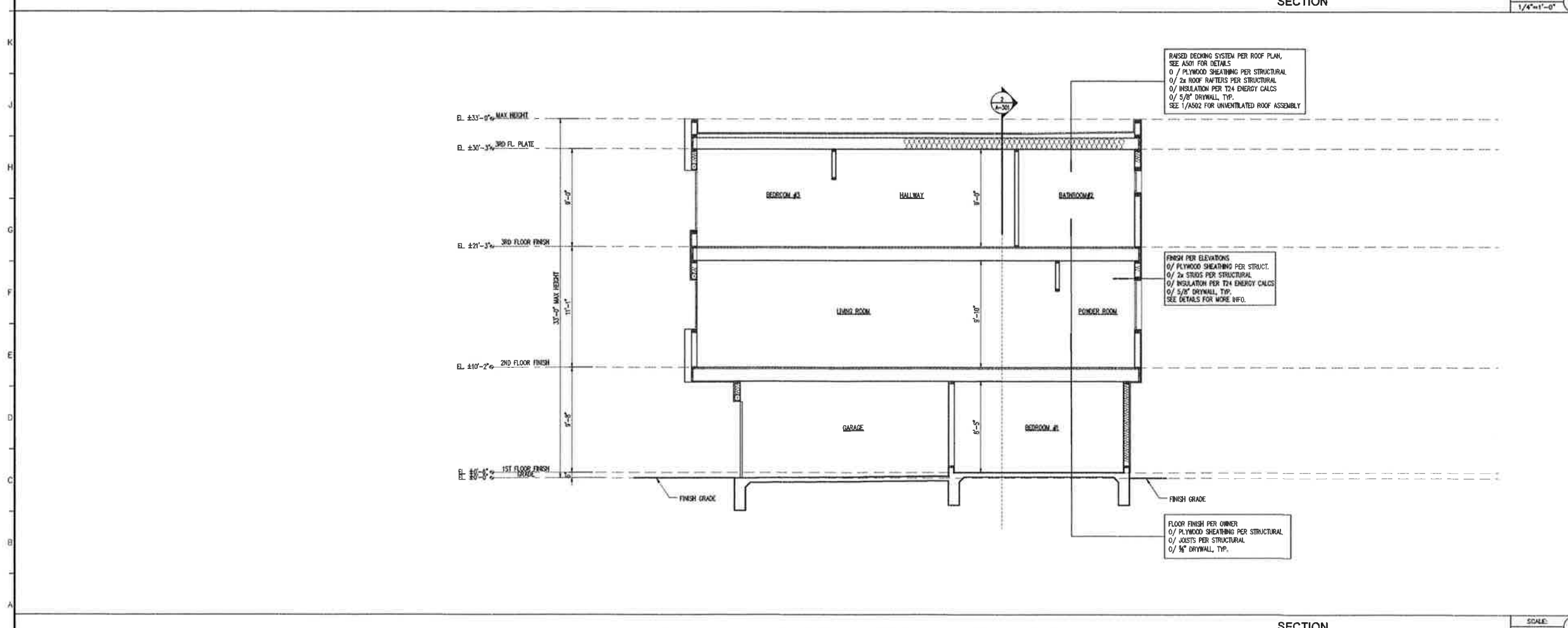
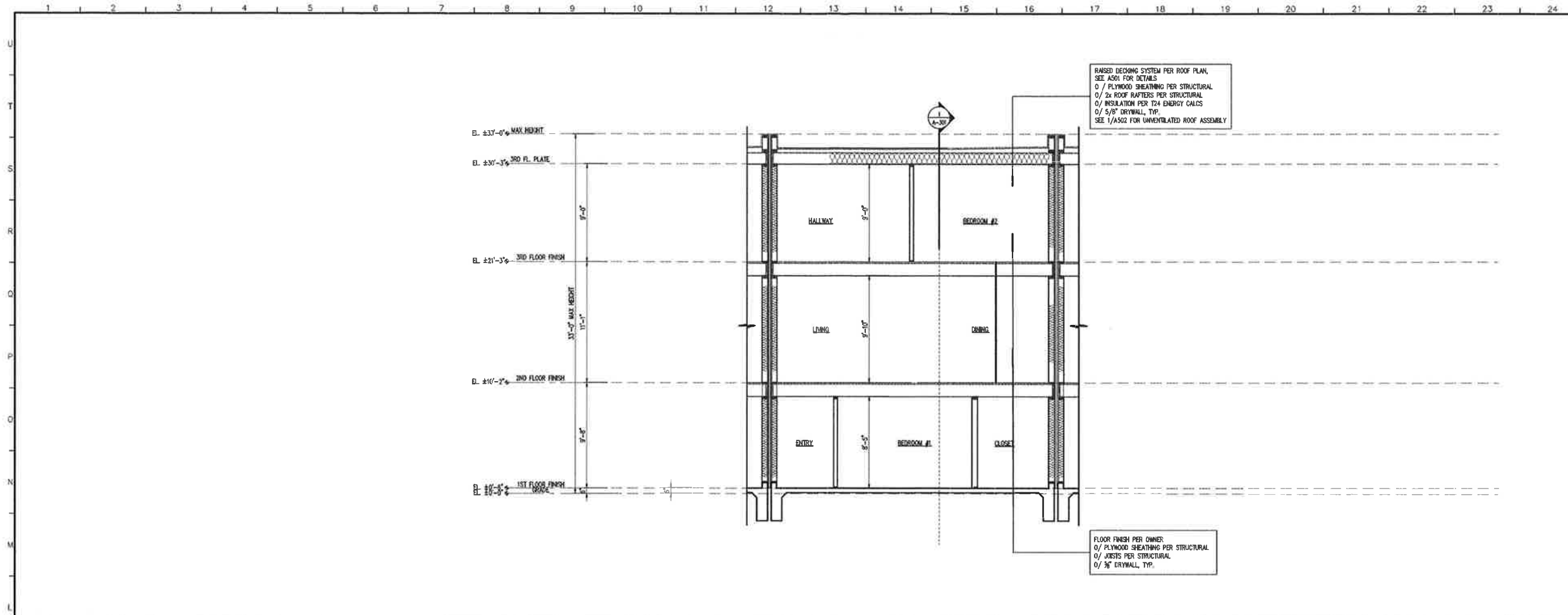
PROJECT ADDRESS:
 7685 MACHREA ST.
 LOS ANGELES, CA 91042

NO.	ISSUED FOR:

JOB NO.: 20034
 DRAWN BY: A.T.
 CHECKED BY: A.T.
 DATE: 03-22-23

SHEET DESCRIPTION:
 ELEVATIONS

SHEET NUMBER:
A-203



PROJECT TEAM:
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 HAYK@TECHNALAND.COM

PROJECT TITLE:
**MACHREA
 7 SMALL LOT SR**

PROJECT ADDRESS:
 7885 MACHREA ST.
 LOS ANGELES, CA 91042

NO.	ISSUED FOR:

JOB NO.:	20034
DRAWN BY:	A.T.
CHECKED BY:	A.T.
DATE:	03-22-23
SHEET DESCRIPTION:	SECTIONS
SHEET NUMBER:	A-301

TT.NO. 83902-SL

Findings:

1. The proposed map is consistent with applicable General and Specific plan

The adapted Sunland-Tujunga-Lake View Terrace-Shadow Hills-East La Tuna Canyon community plan designates the subject site as Low Medium I residential with corresponding zone of RD3-1. The property contains approximately 0.31 net acres (13,489.7 square feet.) Therefore, the proposed development of $1/3000=4.49$ lots is allowable under the current land use designation and existing RD3-1 zone and requesting additional 3-lot density bonus lots to provide for low income housing for two market rate and one low income/moderate income under density bonus.

2. The design and improvement of the proposed subdivision are consistent with applicable general and specific plans.

Under Section 66418 and 66419 of the State Subdivision Map Act and LAMC Section 17.02 "design" means (a). street alignment grades and width; (b). drainage and sanitary facilities and utilities, including alignments and grades thereof; (c). location and size of all required easements and rights-of-way; (d). fire roads; (e). lot size and configuration; (f). traffic access; (g). grading; (h). land to be dedicated for park or recreation purposes and other specific physical requirements in the plan and configuration with, or implementation of the general plan or any applicable specific plan.

The development of seven single family lots on 0.31-acre site along with density bonus in RD3-1 zone as shown on the Vesting Tentative Map is proposed. The project proposes to subdivide the project site into seven (7) small lot homes, pursuant to LAMC Section 12.22 C,27,. Housing Incentives is maximum allowed for the zone RD3-1. The project consist of the common access easements from the public right- of -ways for vehicular access. The resulting small lot homes would be three stories and have a building height of up to 33 feet. Two parking spaces per lot would provide 14 parking spaces on the project site thus meeting the minimum parking requirements of two parking spaces per lot. Each lot would be accessed through a common access driveway off of Machrea St. with an open to sky entry width of 16.33 feet before widening to 26.83 feet for driveway backup space. The rectangular lot and proposed subdivision are consistent with the surrounding design for the neighborhood and therefore consistent to the adopted Sunland-Tujunga-Lake View Terrace-Shadow Hills-East La Tuna Canyon community plan and general plan.

3. The site is physically suitable for the proposed type of development.

The project site is a level, regular shaped site located at terminus of the cul-de-sac on Machrea St. and comprised of one parcel consisting of 13,489 net square feet of lot area. The site is developed with one single family, nine (9) non-protected on-site trees, and no off-site trees. The proposed project would demolish the existing structure and remove nine (9) trees located on-site for the small lot subdivision resulting in seven (7) small lots and construction of seven (7) small lot homes in accordance with the small lot subdivision ordinance no. 185,462 and LAMC Section 12.22 C.27..Site is not located within a designated hillside area but located within special grading area (BOE). The site is not located within a high fire hazard severity zone, flood zone, floodways, floodplains, mud prone areas, coastal high-hazard and flood related erosion hazard

VTT-83902

area, landslide and liquefaction zone. Development of this tract is an infill of an established single and multi-family residential neighborhood surrounding the subject site, therefore, the site will be physically suitable for the proposed type of development.

4. The site is physically suitable for the proposed density of development.

The proposed project is situated in a designated multi-family residential area wherein most of the parcels are fully utilized with single family and multi-family residences based on the RD3-1, R3-1 and R2-1 zones. The development of four (4) by right number of lots and three (3) density bonus lots of this tract is physically suitable for the proposed density of the development.

5. The design of the subdivision and proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

The project site is currently developed with one single family. There are no protected trees nor shrubs on the project site or within the public right-of-way adjacent to the project site, however there is a protected tree on the adjacent neighbor property that said proposed development is not close to the tree, Neither the project site nor the surrounding area provides a natural habitat for fish or wild life. The project and the design of the subdivision and proposed improvements will not cause substantial environmental damage or injury to wildlife or their habitat.

6. The design of the subdivision and the proposed improvements are not likely to cause serious public health problems.

There will be no potential public health problems caused by the design or improvement of the proposed subdivision. The development is required to be connected to the city's sanitary sewer system. Where the sewage will be directed to the LA Hyperion Treatment Plant.

7. The design of the subdivision and the proposed improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.

The project site contains legally recorded lot identified by the Assessor Parcel Record. The site is surrounded by private and public properties that adjoin improved public streets and sidewalks designed and improved for the specific purpose of providing public access throughout the area. Easements are known to exist as shown on the map and the design of the subdivision and proposed improvements would not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.

TT.NO. 83902-SL

Justification

a. The project is consistent with applicable General designation and all applicable general plan policies as well as with applicable zoning designation and regulations.

The site is currently developed with a single family residential building, one story in height, eight(8) non-protected on-site trees and one (1) protected tree on adjacent neighbor property. The site is within the adapted Sunland-Tujunga-Lake View Terrace-Shadow Hills-East La Tuna Canyon community plan and a general plan land use designation of Low Medium I residential with corresponding land use of RD3-1. The property is zoned RD3-1 which is consistent with the land use designation, The project is consistent with the applicable Sunland-Tujunga-Lake View Terrace- Shadow Hills-east La Tuna Canyon community plan designation and polices and all applicable zoning designations and regulations.

b. The proposed development occurs within the city limits on a project site of no more than five acres substantially surrounded by urban uses.

The subject site is wholly within the City of Los Angeles, on a site that is approximately 0.309 acres (13473.90 square feet). Lots adjacent to the subject site are developed with the following urban uses; single family and multi-family residential buildings up to two-three stories in Height,

c. The project site has no value as habitat for endangered, rare or threatened species.

The project site is not a wildland area, and is not inhabited by endangered, rare, or threatened species. There are no protected trees on-site, as identified in the tree report prepared by Bardez Landscape Services, Inc. dated September 5, 2022. The project involves the removal of eight (8) existing non-protected trees from the site.

d. Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.

The project will be subject to mitigation measures that regulate the grading and construction projects. Also, the project shall comply with all applicable standards of the Southern California Air Quality Management District, SCAQMD. Measures will be that all unpaved demolition and construction areas shall be wetted at least twice daily during excavation activity and temporary dust covers shall be used to reduce dust emissions. All clearing, earth moving or excavation activities shall be discontinued during periods of high winds so as to prevent excessive amounts of dust. All dirt/soil materials transported off-site shall be either sufficiently watered or securely covered to prevent excessive amount of dust. General contractors shall maintain and operate construction equipment so as to minimize exhaust emissions. The design and construction of the project shall conform to the California Building Code seismic standards as approved by the Department of Building & Safety. The project shall comply will the City of Los Angeles Noise Ordinance and any subsequent ordinances, which prohibit the emissions or creation of noise beyond certain levels. The project shall be in compliance with the City of Los Angeles stormwater mitigations, and Best Management Practices for stormwater runoff. These mitigations will ensure the project will not have significant impacts on noise and water.

ENV-2023-4515

Furthermore the project does not exceed the DOT threshold criteria established for preparing traffic study. In conjunction with the above mitigations and compliance with other applicable regulation the location of the project will not result in a significant impact based on its location.

e. The site can be adequately served by all required utilities and public services.

The project site will be adequately served by all public utilities and services given that the homes will be on a site which has been previously developed and is consistent with the General Plan. Therefore, it can be found that the project meets all of the criteria for the Class 32 exemption

SEE 502 MAP

VTI-83902

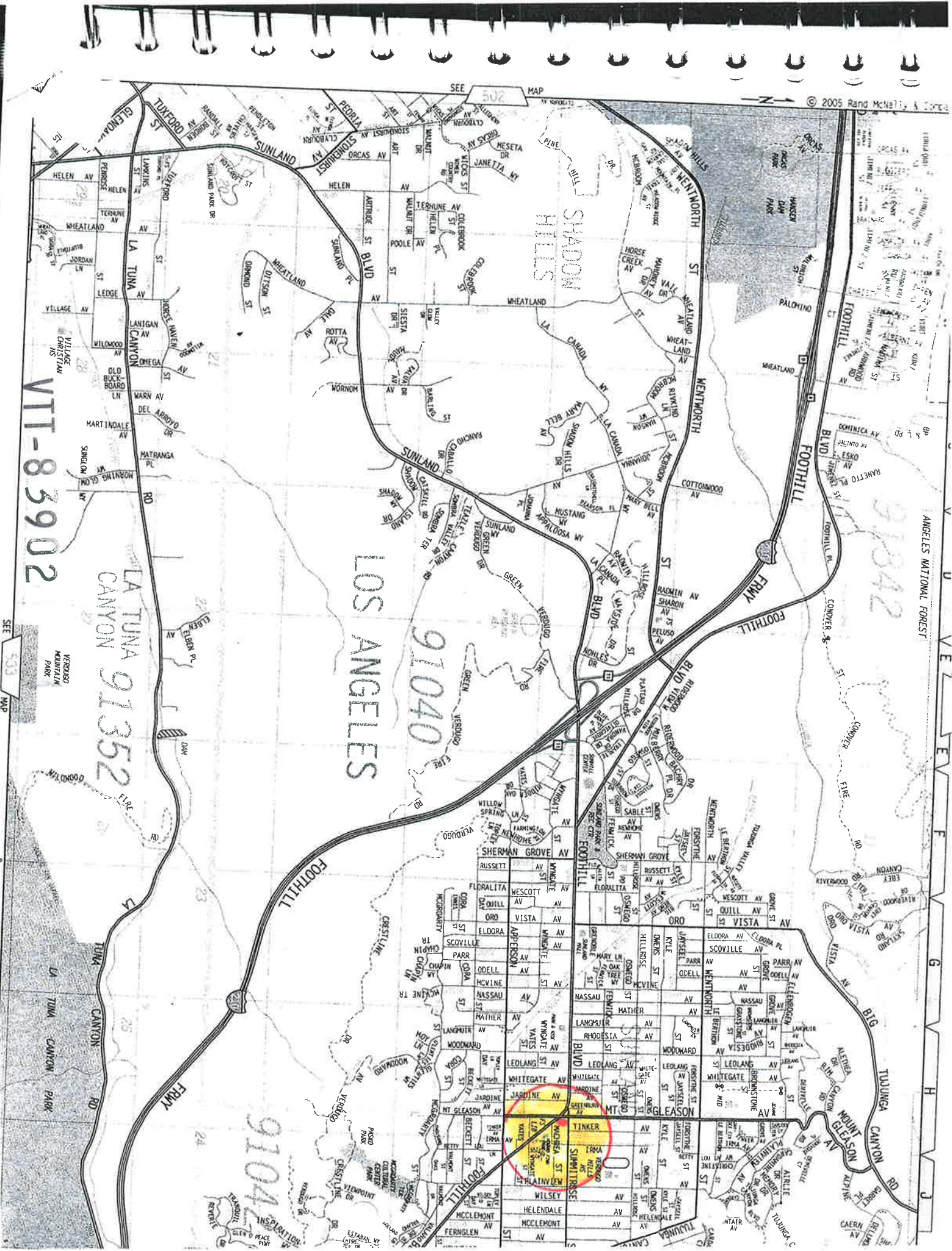
LA TUNA CANYON 91352

LOS ANGELES

91040

91342

91044



SEE 503 MAP

ANGELES NATIONAL FOREST

VE 2 EV 7 E V 8 F 9 G H J

VESTING TENTATIVE TRACT MAP NO. 83902

FOR SMALL LOT SUBDIVISION PURPOSES

"NOTE: SMALL LOT SINGLE FAMILY SUBDIVISION IN THE RD3-1 ZONE, PER ORDINANCE NO. 185,467" IN THE CITY OF LOS ANGELES, STATE OF CALIFORNIA

PROJECT SITE

DATE: OCT 15, 2022
MAR 27, 2023

PHOTO LOCATION MAP



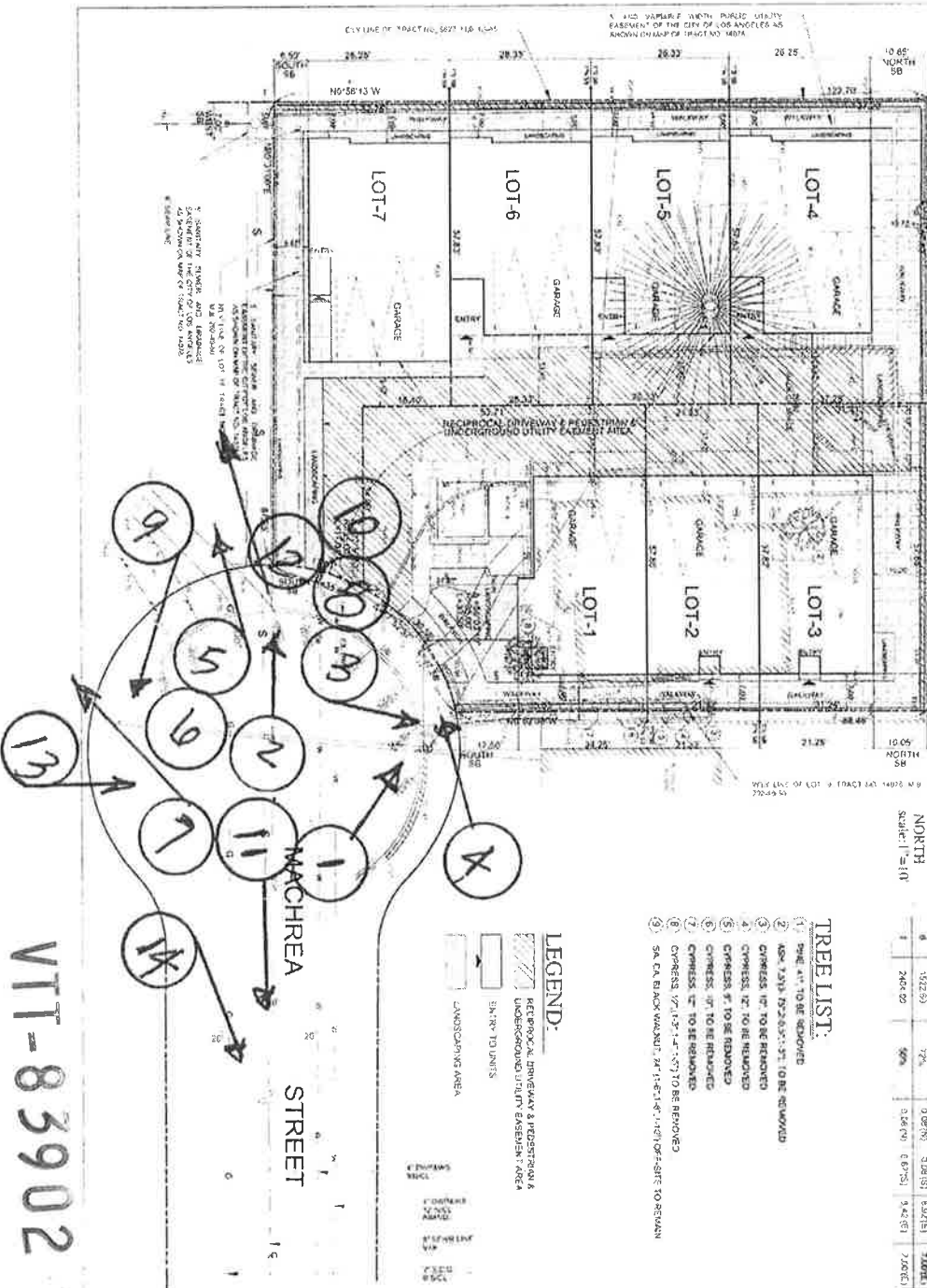
VICINITY MAP
NO SCALE

LOT #	LOT AREA SQ. FT.	LOT COVERAGE	FLOOR	MAX	SCALE 1	SCALE 2
1	265.00	20%	0.0000	47.0000	7.0000	8.0000
2	180.00	20%	0.0000	3.0000	7.0000	8.0000
3	180.00	20%	10.0000	2.0000	7.0000	8.0000
4	215.70	20%	10.0000	2.0000	7.0000	8.0000
5	180.00	20%	0.0000	3.0000	7.0000	8.0000
6	102.00	20%	0.0000	3.0000	7.0000	8.0000
7	240.00	20%	0.0000	3.0000	7.0000	8.0000

- ### TREE LIST:
- (1) TREE A: TO BE REMOVED
 - (2) TREE B: TO BE REMOVED
 - (3) TREE C: TO BE REMOVED
 - (4) TREE D: TO BE REMOVED
 - (5) TREE E: TO BE REMOVED
 - (6) TREE F: TO BE REMOVED
 - (7) TREE G: TO BE REMOVED
 - (8) TREE H: TO BE REMOVED
 - (9) TREE I: TO BE REMOVED
 - (10) TREE J: TO BE REMOVED
 - (11) TREE K: TO BE REMOVED
 - (12) TREE L: TO BE REMOVED
 - (13) TREE M: TO BE REMOVED
 - (14) TREE N: TO BE REMOVED
 - (15) TREE O: TO BE REMOVED
 - (16) TREE P: TO BE REMOVED
 - (17) TREE Q: TO BE REMOVED
 - (18) TREE R: TO BE REMOVED
 - (19) TREE S: TO BE REMOVED
 - (20) TREE T: TO BE REMOVED

LEGEND:

- [Symbol] RECREATIONAL DRIVEWAY & MOTORCYCLE
- [Symbol] UNIMPROVED UTILITY EXHAUST AREA
- [Symbol] LANDSCAPING AREA
- [Symbol] SHED 10 UNITS
- [Symbol] REMOVED
- [Symbol] EXISTING



OWNER / SUBDIVIDER
NERGES YARIJANYAN
7665 MACHREA STREET
LOS ANGELES CA 91042
TEL. NO. (818) 405-1935

ENGINEER
TECHNA LAND CO., INC.
HAYK MARTIROSIAN
1545 N. VERDUGO RD SUITE 2
GLENNDALE, CA 91208
TEL. (818) 247-0943
RCE 52583

PROJECT ADDRESS
7665 W. MACHREA STREET
LOS ANGELES, CA 91042

LEGAL DESCRIPTION
LOT 10 OF TRACT NO. 14078
M.B. 280-49-50

PROJECT DATA
EXIST. ZONE: RD3-1
PROP. ZONE: RD3-1
GENERAL PLAN LAND USE: LOW MEDIUM RESIDENTIAL
EXIST. USE: SINGLE FAMILY AND DETACHED GARAGE
DETACHED GARAGE
7 NEW SMALL LOTS
4 LOTS BY RIGHT + 3 DENSITY BONUS LOTS
2 MARKET RATE + 1 LOW INCOME/MODERATE INCOME
PARKING: 2/1EA TOTAL = 14
LOT AREA: 13,473.80 SQ. FT. = 0.3093 AC.

NOTES:
1- WATER SYSTEM: CITY OF L.A. DWP
2- POWER SYSTEM: CITY OF L.A. DWP
3- SEWER SYSTEM: CITY OF L.A. DWP
4- COMMUNITY PLAN AREA: SUNLAND-TUJUNGA LAKE VIEW TERRACE SHADOW HILLS-EAST LA TUNA CANYON HILLSIDE AREA (ZONING CODE) HILLSIDE GRADING AREA (BOE)
5- HILLSIDE AREA NOTE: SITE IS NOT LOCATED IN CITY DESIGNATED HILLSIDE AREA (ZONING CODE) HILLSIDE GRADING AREA (BOE)
6- TREES, THERE ARE NO PROTECTED TREES AND SHRUBS ON SITE SET TREE LIST/REPORT
7- THIS SUBDIVISION IS NOT IN A POTENTIALLY DANGEROUS AREA
8- THIS SUBDIVISION IS NOT LOCATED WITHIN THE VICINITY OF THE MULHOLLAND SCENIC PARKWAY
9- SITE IS RELATIVELY FLAT
10- ALL EXISTING STRUCTURES TO BE REMOVED (1-SFD, ONE STORY, EX. GARAGE AND SHED)
11- SITE IS NOT IN LIQUIDATION ZONE
12- ALL EXISTING ON-SITE TREES TO BE REMOVED. SEE TREE LIST
13- NOS. OF PROP. BUILDING: 7, ALL THREE STORY
14- COUNCIL DISTRICT NO. CD-7
15- ASSESSOR PARCEL NO.: 2538-002-015
16- CENSUS TRACT NO.: 1011.10
17- T.G. PAGE 503, J3
18- B.M. 2048159797

VESTING TENTATIVE TRACT MAP NO. 83902

TECHNA LAND CO., INC.
REGISTERED PROFESSIONAL ENGINEER
CITY OF LOS ANGELES
1545 N. VERDUGO RD SUITE 2
GLENNDALE, CA 91208
TEL. (818) 247-0943
RCE 52583

VTT-83902

VTT. NO. 83902, 7665 W. MACHREA ST.



1.



2.



3.



4.



5.



6.



7.



8.



9.



10.



11.



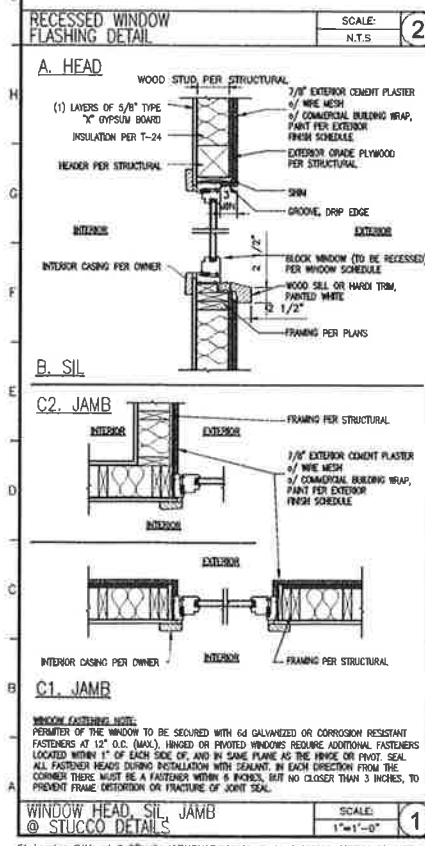
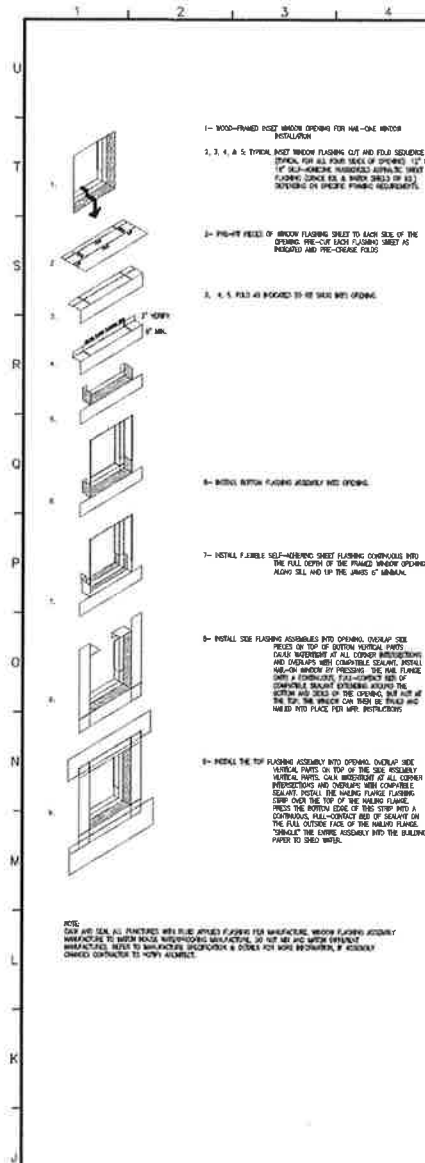
12



13.



14.



WINDOW SCHEDULE:

UNIT 1,2,3

SYM.	SIZE		GLASS	TYPE	MATERIAL	FRAME	SHGC	U Factor	REMARKS	
	WIDTH	HEIGHT							(SEE REMARK NOTES BELOW)	
101	4'-0"	4'-0"	DUAL	FIXED	FIBERGLASS	BLOCK	PER T24	PER T24	-	-
102	10'	7'-0"	DUAL	FIXED	FIBERGLASS	-	PERT T24	PER T24	-	#1
103	5'-0"	5'-0"	DUAL	SLIDER	FIBERGLASS	-	PERT T24	PER T24	-	-
104	6'-0"	4'-6"	DUAL	SLIDER/FR	FIBERGLASS	-	PERT T24	PER T24	-	-
105	6'-0"	7'-0"	DUAL	SLIDER/FR	FIBERGLASS	-	PERT T24	PER T24	-	-
106	3'-4"	4'-0"	DUAL	FIXED	FIBERGLASS	-	PERT T24	PER T24	-	-
107	3'-0"	8'-0"	DUAL	FIXED	FIBERGLASS	-	PERT T24	PER T24	-	-
108	6'-0"	1'-0"	DUAL	FIXED	FIBERGLASS	-	PERT T24	PER T24	-	-
109	6'-0"	5'-0"	DUAL	SLIDER/FR	FIBERGLASS	-	PERT T24	PER T24	-	-
110	4'-6"	3'-5"	DUAL	SLIDER/FR	FIBERGLASS	-	PERT T24	PER T24	-	-
111	7'-0"	5'-6"	DUAL	SLIDER/FR	FIBERGLASS	-	PERT T24	PER T24	-	-
112	2'-0"	3'-0"	DUAL	CASMENT	FIBERGLASS	-	PERT T24	PER T24	-	-
113	7'-0"	5'-6"	DUAL	SLIDER/FR	FIBERGLASS	-	PERT T24	PER T24	-	-
114	6'-0"	1'-6"	DUAL	FIXED	FIBERGLASS	-	PERT T24	PER T24	-	-
115	10'-6"	6'-0"	DUAL	FIXED/CASMENT	FIBERGLASS	-	PERT T24	PER T24	-	-
116	6'-0"	4'-6"	DUAL	SLIDER	FIBERGLASS	-	PERT T24	PER T24	-	-
117	6'-0"	5'-6"	DUAL	FIXED/SLIDER	FIBERGLASS	-	PERT T24	PER T24	-	-
118	3'-0"	3'-6"	DUAL	SINGLE HUNG	FIBERGLASS	-	PERT T24	PER T24	-	-
119	6'-0"	4'-0"	DUAL	SLIDER	FIBERGLASS	-	PERT T24	PER T24	-	-
120	2'-6"	2'-6"	DUAL	CASMENT	FIBERGLASS	-	PERT T24	PER T24	-	-

UNIT 4,5,6,7

121	1'-0"	7'-0"	DUAL	FIXED	FIBERGLASS	-	PERT T24	PER T24	-	-
122	4'-0"	4'-6"	DUAL	FIXED	FIBERGLASS	-	PERT T24	PER T24	-	#1
123	3'-0"	4'-0"	DUAL	CASMENT	FIBERGLASS	-	PERT T24	PER T24	-	-
124	3'-7"	4'-0"	DUAL	FIX	FIBERGLASS	-	PERT T24	PER T24	-	-
125	2'-6"	2'-0"	DUAL	SLIDER	FIBERGLASS	-	PERT T24	PER T24	-	-
126	3'-0"	3'-6"	DUAL	SINGLE HUNG	FIBERGLASS	-	PERT T24	PER T24	-	-
127	6'-0"	4'-6"	DUAL	SLIDER	FIBERGLASS	-	PERT T24	PER T24	-	-
128	6'-0"	8'-0"	DUAL	FIX	FIBERGLASS	-	PERT T24	PER T24	-	-
129	3'-4"	4'-0"	DUAL	FIXED	FIBERGLASS	-	PERT T24	PER T24	-	-
130	7'-0"	7'-0"	DUAL	SLIDER/FR	FIBERGLASS	-	PERT T24	PER T24	-	-
131	6'-0"	3'-6"	DUAL	SLIDER	FIBERGLASS	-	PERT T24	PER T24	-	-
132	7'-0"	5'-6"	DUAL	SLIDER/FR	FIBERGLASS	-	PERT T24	PER T24	-	-
133	5'-11/2"-8"	5'-6"	DUAL	FIXED/CASMENT	FIBERGLASS	-	PERT T24	PER T24	-	-
134	2'-6"	3'-6"	DUAL	CASMENT	FIBERGLASS	-	PERT T24	PER T24	-	-
135	8'-0"	4'-6"	DUAL	FIXED/CASMENT	FIBERGLASS	-	PERT T24	PER T24	-	-
136	3'-6"	3'-0"	DUAL	FIXED	FIBERGLASS	-	PERT T24	PER T24	-	-
137	7'-1"	4'-0"	DUAL	SLIDER	FIBERGLASS	-	PERT T24	PER T24	-	-
138	6'-0"	3'-6"	DUAL	SLIDER	FIBERGLASS	-	PERT T24	PER T24	-	-
139	6'-0"	5'-6"	DUAL	FIXED/SLIDER	FIBERGLASS	-	PERT T24	PER T24	-	-
140	10'	7'-0"	DUAL	FIXED	FIBERGLASS	-	PERT T24	PER T24	-	-
141	8'-0"	4'-0"	DUAL	FIX/CASMENT	FIBERGLASS	-	PERT T24	PER T24	-	-
142	6'-3"	5'-6"	DUAL	SLIDER/FR	FIBERGLASS	-	PERT T24	PER T24	-	-
143	6'-11/2"-7"	5'-6"	DUAL	SLIDER/FR	FIBERGLASS	-	PERT T24	PER T24	-	-
144	6'-3"	7'-0"	DUAL	SLIDER/FR	FIBERGLASS	-	PERT T24	PER T24	-	-
145	4'-11/2"-7"	7'-0"	DUAL	SLIDER/FR	FIBERGLASS	-	PERT T24	PER T24	-	-
146	1'-6"	3'-6"	DUAL	CASMENT	FIBERGLASS	-	PERT T24	PER T24	-	-
147	8'-0"	7'-0"	DUAL	SLIDER/FR	FIBERGLASS	-	PERT T24	PER T24	-	-
148	5'-0"	3'-0"	DUAL	SLIDER/FR	FIBERGLASS	-	PERT T24	PER T24	-	-

DOOR SCHEDULE:

SYM.	SIZE		THICKNESS	TYPE	MATERIAL	FRAME	SHGC	U Factor	GLASS	FIRE RATING	REMARKS
	WIDTH	HEIGHT									
149	3'-0"	7'-0"	1-3/4"	SWING	WOOD	WOOD	-	-	-	N/A	EXTERIOR
150	2'-8"	7'-0"	1-3/4"	SWING	WOOD	-	-	-	-	N/A	INTERIOR, SEE NOTE #1 IN RATED
151	16'-0"	8'-0"	1-3/4"	ROLL UP	ALUMINUM	ALUMINUM	-	-	-	N/A	-
152	3'-6"	7'-0"	1-3/4"	BI-FOLD	WOOD	-	-	-	-	N/A	INTERIOR
153	3'-0"	7'-0"	1-3/4"	SWING	WOOD	-	-	-	-	N/A	INTERIOR, SEE NOTE #2
154	2'-8"	7'-0"	1-3/4"	SWING	WOOD	-	-	-	-	N/A	INTERIOR, SEE NOTE #2
155	3'-0"	8'-0"	1-3/4"	SWING	ALUMINUM	ALUMINUM	-	-	-	N/A	W/ 4'-2" FIXED WINDOW EACH SIDE

SCHEDULE NOTES:

- EMERGENCY ESCAPE / EXIT WINDOW MUST MEET FOLLOWING REQUIREMENTS:
 - 20" MIN. CLEAR WIDTH
 - 24" MIN. CLEAR HEIGHT
 - 5.7 SF. MIN. OPERABLE AREA
- THE FOLLOWING LOCATIONS SHALL BE SAFETY GLAZING CONFORMING TO THE HAZARD IMPACT LOADS OF SECTION R303.3 (IRC R308.4):
 - FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BI-FOLDING DOOR ASSEMBLIES:
 - GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24-INCHES ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE.
 - GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
 - EXPOSED AREA OF AN INDIVIDUAL PANEL GREATER THAN 8 SQUARE FEET.
 - BOTTOM EDGE LESS THAN 18 INCHES ABOVE FLOOR.
 - TOP EDGE GREATER THAN 36 INCHES ABOVE FLOOR.
 - ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE GLAZING.
 - GLAZING IN RAILINGS
 - GLAZING IN ENCLOSURES FOR OR WALLS FACING HOT TUBS, whirlpools, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS WHERE THE BOTTOM EDGE OF GLAZING IS LESS THAN 60" MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.
 - GLAZING IN WALLS AND FENCES ADJACENT TO INDOOR AND OUTDOOR SWIMMING POOLS, HOT TUBS AND SPAS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A WALKING SURFACE AND WITHIN 60 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE WATER'S EDGE.
 - GLAZING WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 36 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE OF STAIRWAYS, LANDINGS BETWEEN FLIGHTS OF STAIRS OR RAMPS.
 - GLAZING ADJACENT TO THE LANDING AT THE BOTTOM OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 36 INCHES ABOVE THE LANDING AND WITHIN 60 INCHES HORIZONTALLY OF THE BOTTOM TREAD.
- THE NFPA TEMPORARY LABEL DISPLAYED ON WINDOWS AND SKYLIGHTS (INCL. TUBULAR) MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BEEN COMPLETED.
- ALL WINDOWS AND GLAZED DOORS SHALL BE DUAL GLAZED INSULATED-GLASS UNITS WITH A MINIMUM OF ONE TEMPERED PANE.
- GARAGE DOORS TO BE TESTED IN ACCORDANCE TO WITH EITHER ASTM E 330 OR ANSI/DASMA 108, AND SHALL MEET THE ACCEPTANCE CRITERIA OF ANSI/DASMA 108.
- THE SEALS GIVEN ARE FOR FINISH OPENINGS.
- MANUFACTURE SHALL VISIT SITE AND FIELD VERIFY ALL ROUGH OPENING SIZES PRIOR TO SUBMITTING ORDER. SUBMIT FOR ARCHITECTS REVIEW.
- SEE HAZARD SCENE FOR REQUIREMENTS. (INC. 11-11-2014) ALL EXTERIOR WINDOWS, WINDOW WALLS AND GLAZED DOORS, WINDOWS WITHIN EXTERIOR DOORS, AND SHOWERERS SHALL BE TEMPERED GLASS. MULTI-LAYERED GLASS PANELS. GLAZED DOORS SHALL BE 5-PLY CONSTRUCTION. SEE 11-11-2014 FOR 40-40-40.

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NO. ISSUED FOR:

JOB NO.: 20034
 DRAWN BY: A.T.
 CHECKED BY: A.T.
 DATE: 03-22-23

SHEET DESCRIPTION:
 SCHEDULES & DETAILS

SHEET NUMBER:
A-601