LANDSCAPING LEGEND:

	BOTANICAL NAME / COMMON NAME	SIZE	QTY.
	FICUS FUMILA, CREEPING FIG	1 GAL @ 10" O.C.	38
T1	PARKINSONIA DESERT MUSEUM, PALO VERDE	48 BOX.	–
S1	DODONAEA VISCOSA, BROADLEAF HOPBUSH	15 GAL	2
S2	ALYOGYNE HUEGELII, BLUE HIBISCUS	5 GAL	8
	SENECIO SERPENS	FLAT	AS NEEDED

PROPOSED AREAS:

LOT NO:	1	2	3	4	5	6	7
GARAGE	378	378	378	370	370	370	394
1ST FLOOR AREA	303	268	268	391	391	391	460
2ND FLOOR AREA	660	660	660	803	822	803	874
3RD FLOOR AREA	740	740	740	938	938	938	1025
FLOOR AREA:	1,703	1668	1668	2132	2151	2132	2132
1ST FLOOR COVERED ENTRY:	13	13	13	56	56	56	92
2ND FLOOR COVERED BALCONY:	59	59	59	87	87	87	134
COVERED AREA TOTAL:	72	72	72	143	143	143	226
LOT AREA: (S.F.)	2439.1	1233.0	1810.6	2156.2	1522.6	1522.6	2235.5
FAR: FLOOR AREA / LOT AREA	1703/ 2439.1 = .70	1668/ 1233 = 1.4	1668/ 1810.6 = .92	2132/ 2156.2 = .99	2151/ 1522.6 = 1.45	2132/ 1522.6 = 1.41	2132/ 2235.5 = .95
LOT COVERAGE: (S.F)	930	891	891	1113	1092	1092	1201
LOT COVERAGE / LOT AREA:	.385	.72	.49	.52	.72	.72	.54

12.03 DEFINITION
FLOOR AREA. (AMENDED BY ORD. NO. 182,386, EFF. 3/13/13.) THE AREA IN SQUARE FEET CONFINED WITHIN THE EXTERIOR WALLS OF A BUILDING, BUT NOT INCLUDING THE AREA OF THE FOLLOWING: EXTERIOR WALLS, STAIRWAYS, SHAFTS, ROOMS HOUSING BUILDING–OPERATING EQUIPMENT OR MACHINERY, PARKING AREAS WITH ASSOCIATED DRIVEWAYS AND RAMPS, SPACE DEDICATED TO BICYCLE PARKING, SPACE FOR THE LANDING AND STORAGE OF HELICOPTERS, AND BASEMENT STORAGE AREAS.

FLOOR AREA RATIO (FAR). A RATIO ESTABLISHING RELATIONSHIP BETWEEN A PROPERTY AND THE AMOUNT OF DEVELOPMENT PERMITTED FOR THAT PROPERTY, AND IS EXPRESSED AS A PERCENTAGE OR A RATIO OF THE BUILDABLE AREA OR LOT SIZE (EXAMPLE: "3 TIMES THE BUILDABLE AREA" OR "3:1"). (ADDED BY ORD. NO. 181,624, EFF. 5/9/11.)

LEGEND:

(N) NEW CONSTRUCTION
(N) 2 CAR GARAGE
(N) 1ST FLOOR LIVING
(N) 2ND FLOOR LIVING
(N) 3RD FLOOR LIVING
(N) LANDSCAPING
(N) WALKWAY PER CIVIL
PATH TO ENTRY

SITE PLAN

SCALE: 1/8"=1'-0"

1

7 SMALL LOT SUBDIVISION

7665 MACHREA ST.
LOS ANGELES, CA 91042

SCOPE OF WORK:

1. DEMOLISH EXISTING 4 BED,1 BATH 1,444 S.F. SINGLE FAMILY RESIDENCE & 220 S.F. DETACHED GARAGE.

2. 7 NEW SMALL LOT SUBDIVISIONS.

SHEET INDEX:

SHEET NO.	SHEET TITLE	ISSUE (SEE BOTTOM OF SHEET) A	B	C	D
GENERAL					
G–101	COVER SHEET, DWG INDEX, PROJECT INFO	X			
G–102	SURVEY	X			
G–103	LOT COVERAGE DIAGRAM	X			
G–111	1ST FLOOR AREA DIAGRAM	X			
G–112	2ND FLOOR AREA DIAGRAM	X			
G–113	3RD FLOOR AREA DIAGRAM	X			
G–201	PROJECT NOTES, DETERMINATION LETTER, ETC.	X			
ARCHITECTURAL					
A–111	1ST FLOOR PLAN	X			
A–112	2ND FLOOR PLAN	X			
A–113	3RD FLOOR PLAN	X			
A–131	ROOF FLOOR PLAN	X			
A–201	EXTERIOR ELEVATIONS	X			
A–202	EXTERIOR ELEVATIONS	X			
A–203	EXTERIOR ELEVATIONS	X			
A–301	BUILDING SECTIONS	X			
A–601	WINDOW & DOOR SCHEDULE	X			

APPLICABLE CODES:

1. 2020 CITY OF LOS ANGELES BUILDING CODE (LABC).
2. 2020 CITY OF LOS ANGELES RESIDENTIAL CODE (LARC).
3. 2020 CITY OF LOS ANGELES GREEN BUILDING CODE (LAGBC).
4. 2020 CITY OF LOS ANGELES PLUMBING CODE (LAPC).
5. 2020 CITY OF LOS ANGELES MECHANICAL CODE (LAMC).
6. 2019 CALIFORNIA FIRE CODE (CFC).

LEGAL DESCRIPTION:

LOT(S) & ARB(S)	BLOCK	TRACT(S)
LOT # 10	–	NO. 14078
APN #	2558–002–015	

ZONING INFO:

LOT AREA: (BEFORE DEDICATION)	13,473.90 S.F. *
LOT AREA: (AFTER DEDICATION)	12,919.7 S.F.
EXISTING & PROPOSED ZONE:	RD3–1
GENERAL PLAN LAND USE:	LOW MEDIUM 1 RESIDENTIAL
EXISTING USE:	SINGLE FAMILY RESIDENCE WITH DETACHED GARAGE
PROPOSED USE:	7 NEW SMALL LOT ** (4 BY RIGHT LOTS + 3 DENSITY BONUS LOTS) (1 OF 7 TO BE LOW INCOME)
PARKING:	2 EACH, TOTAL 14
COMMON OPEN SPACE: (NOT REQUIRED UNDER 20 UNITS)	1,250 S.F.
HARDSCAPE AREA:	1,736 S.F.
LANDSCAPE AREA:	1,140 S.F.

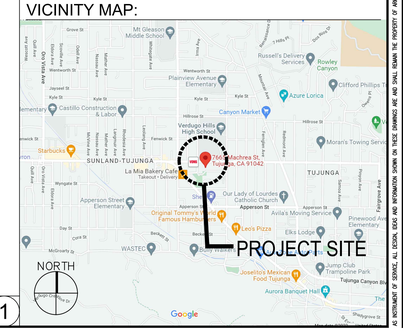
* 12.22.A.25.F.7 DENSITY CALCULATION. THE AREA OF ANY LAND REQUIRED TO BE DEDICATED FOR STREET OR ALLEY PURPOSES MAY BE INCLUDED AS LOT AREA FOR PURPOSES OF CALCULATING THE MAXIMUM DENSITY PERMITTED BY THE UNDERLYING ZONE IN WHICH THE PROJECT IS LOCATED.

**13,473.90 S.F. LOT / 3,000 = 4.49 BY RIGHT UNITS.

- PROPOSING LOW INCOME PER 12.22.A25.C. » WE ROUND UP 4.49 TO 5 UNITS.
- TO ACHIEVE A DENSITY BONUS OF 21.5%, WE MUST PROVIDE 11% LOW INCOME UNITS.
- THEREFORE, 5 UNITS X 21.5% DENSITY BONUS IS 6.075» ROUNDS UP TO 7 TOTAL UNITS.
- 11% OF THE 7 UNITS NEED TO BE LOW INCOME = .77 ROUNDS UP TO 1 UNIT LOW INCOME.
- 7 TOTAL UNITS, 1 OF WHICH NEEDS TO BE LOW INCOME.

12.22.A25C(7) FRACTIONAL UNITS. IN CALCULATING DENSITY BONUS AND RESTRICTED AFFORDABLE UNITS, ANY NUMBER RESULTING IN A FRACTION SHALL BE ROUNDED UP TO THE NEXT WHOLE NUMBER.

VICINITY MAP:



PROJECT TEAM:

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1812 W. BURBANK BLVD #148
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C.818.434.2250
ARMEN@ARMENARC.COM

LICENSED ARCHITECT
ARMEN TUTUNJIAN
C-37632
REN.12-31-2022
STATE OF CALIFORNIA

AS INSTRUMENT OF SERVICE, ALL DESIGN, IDEAS AND INFORMATION SHOWN ON THESE DRAWINGS ARE AND SHALL REMAIN THE PROPERTY OF THE CORPORATION ARMENARC. NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF ARMENARC. VISUAL CONTACT WITH THESE DRAWINGS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

PROPERTY OWNER:
NERSES YARIJANYAN
7665 MACHREA ST.
LOS ANGELES, CA 91042
(818) 406-1935
NERO-Y@INBOX.RU

CIVIL ENGINEER:
TLC, TECHNA LAND CO, INC.
HAYK MARTIROSIAN
1545 N. VERDUGO RD. #2
GLENDALE, CA 91208
(818) 547-0543
HAYK@TECHNALAND.COM

PROJECT TITLE:
MACHREA
7 SMALL LOT SFR

PROJECT ADDRESS:
7665 MACHREA ST.
LOS ANGELES, CA 91042

NO.	ISSUED FOR:

JOB NO.:	20034
DRAWN BY:	A.T.
CHECKED BY:	A.T.
DATE:	07–13–23

SHEET DESCRIPTION:
SITE PLAN
COVER SHEET

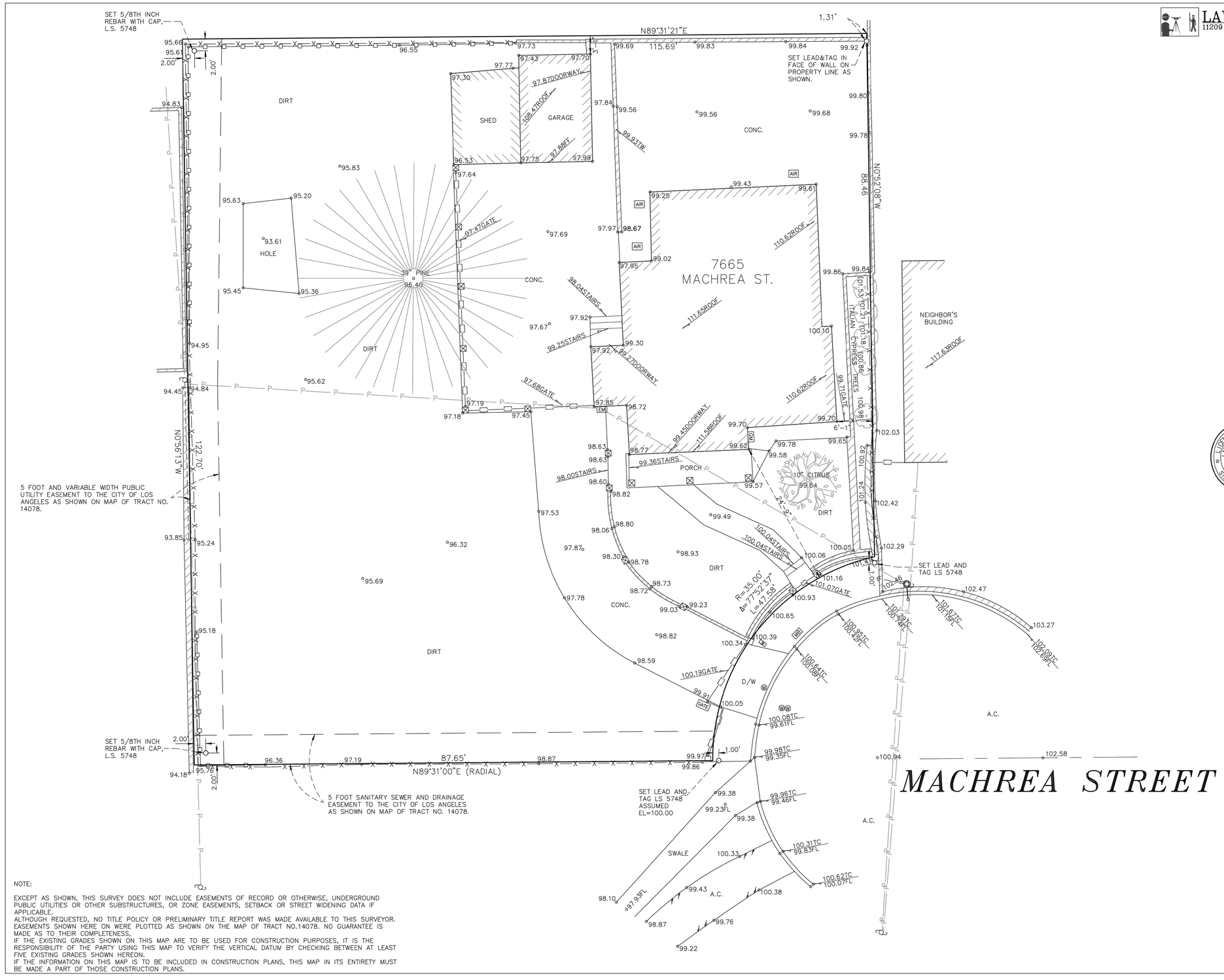
SHEET NUMBER:
G-101

AS INSTRUMENT OF SERVICE, ALL DESIGN, IDEAS AND INFORMATION SHOWN ON THESE DRAWINGS ARE AND SHALL REMAIN THE PROPERTY OF ARMENARC. NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF ARMENARC. VISUAL CONTACT WITH THESE DRAWINGS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

LAWRENCE J. SCHMAHL LICENSED SURVEYOR PLS 5748
11209 HOWARD ST. WHITTIER, CALIFORNIA 90606 (562) 908-0570 / (323) 773-1675

TOPOGRAPHIC SURVEY

SCALE: 1" = 8' NOVEMBER, 2021



LEGAL DESCRIPTION:

LOT 10 OF TRACT NO. 14078, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 292, PAGES 49 AND 50 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

FOR:

NERSES YARIJANYAN
12422 BROMWICH ST.
PACOIMA, CA 91331

LICENSED LAND SURVEYOR LAWRENCE J. SCHMAHL No. 5748 STATE OF CALIFORNIA

BY: _____
LAWRENCE J. SCHMAHL L.S. 5748

LEGEND:

A.C.	ASPHALT CONCRETE
BW	BACK OF WALK
CONC.	CONCRETE
E	EAST
FF	FINISHED FLOOR
FL	FLOWLINE
N	NORTH
S	SOUTH
TC	TOP OF CURB
TG	TOP OF GRATE
TW	TOP OF WALL
W	WEST
	BUILDING LINE
	CENTERLINE
	EDGE OF PAVEMENT
EM	ELECTRIC METER
—X—X—X—	FENCE, CHAIN-LINK
	FENCE, IRON
	FENCE, WOOD
GM	GAS METER
GATE	GATE MOTOR
	GUY WIRE
	LIGHT POLE
MB	MAIL BOX
	POWER POLE
	PROPERTY LINE
S	SEWER MANHOLE
52.52 52.52	SPOT ELEVATIONS
	WALL
	WATER METER
W	WATER VALVE

NOTE:

EXCEPT AS SHOWN, THIS SURVEY DOES NOT INCLUDE EASEMENTS OF RECORD OR OTHERWISE, UNDERGROUND PUBLIC UTILITIES OR OTHER SUBSTRUCTURES, OR ZONE EASEMENTS, SETBACK OR STREET WIDENING DATA IF APPLICABLE.
ALTHOUGH REQUESTED, NO TITLE POLICY OR PRELIMINARY TITLE REPORT WAS MADE AVAILABLE TO THIS SURVEYOR. EASEMENTS SHOWN HERE ON WERE PLOTTED AS SHOWN ON THE MAP OF TRACT NO.14078. NO GUARANTEE IS MADE AS TO THEIR COMPLETENESS,
IF THE EXISTING GRADES SHOWN ON THIS MAP ARE TO BE USED FOR CONSTRUCTION PURPOSES, IT IS THE RESPONSIBILITY OF THE PARTY USING THIS MAP TO VERIFY THE VERTICAL DATUM BY CHECKING BETWEEN AT LEAST FIVE EXISTING GRADES SHOWN HEREON.
IF THE INFORMATION ON THIS MAP IS TO BE INCLUDED IN CONSTRUCTION PLANS, THIS MAP IN ITS ENTIRETY MUST BE MADE A PART OF THOSE CONSTRUCTION PLANS.

JOB# 13421

SURVERY

LEGEND:

(N) NEW CONSTRUCTION

(N) 2 CAR GARAGE

(N) 1ST FLOOR LIVING

(N) 2ND FLOOR LIVING

(N) 3RD FLOOR LIVING

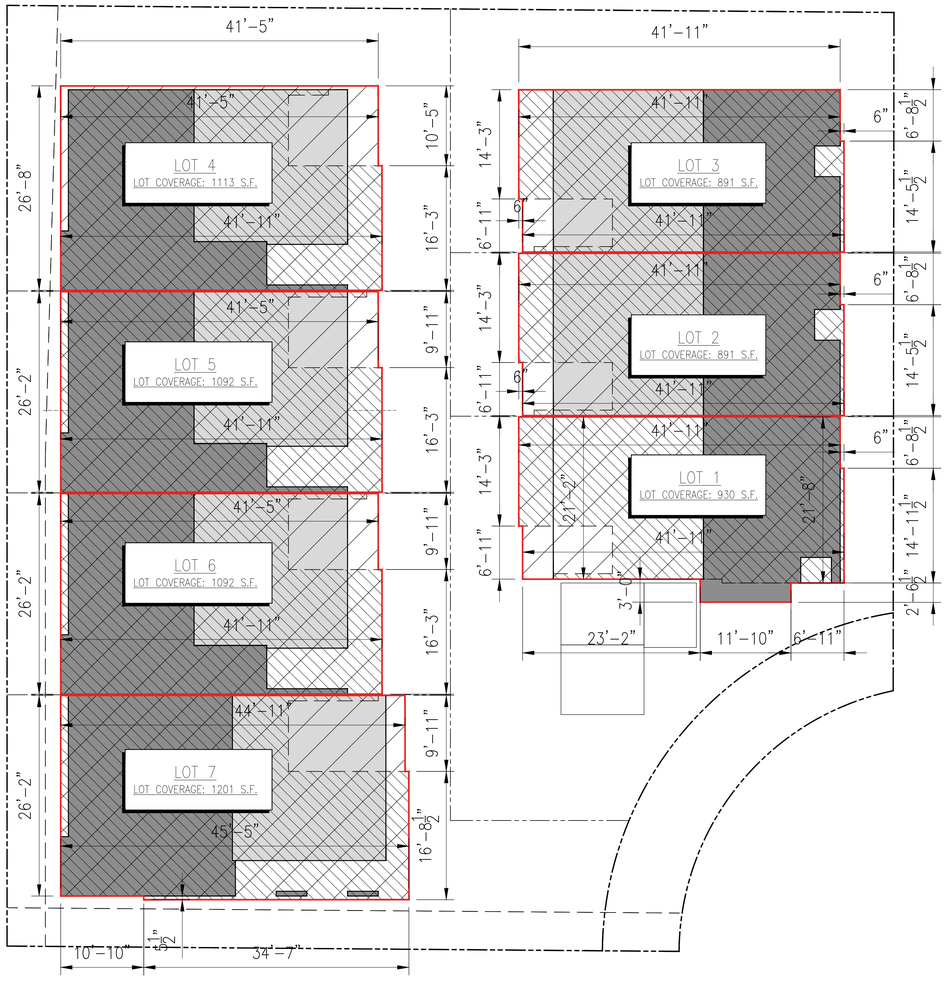
OUTLINE OF BUILDING FOOTPRINT FOR LOT COVERAGE

(N) LANDSCAPING

(N) WALKWAY PER CIVIL

PATH TO ENTRY

SEE "PROPOSED AREAS" TABLE ON G-101 FOR LOT COVERAGE RATIO.



LOT COVERAGE DIAGRAM

SCALE: 1/8"=1'-0"

1

PROJECT TEAM:

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1812 W. BURBANK BLVD #148
BURBANK, CA 91506
C.818.434.2250
ARMEN@ARMENARC.COM

LICENSED ARCHITECT
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C-37632
REN.12-31-2022
STATE OF CALIFORNIA

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PROJECT TITLE:
MACHREA
7 SMALL LOT SFR

PROJECT ADDRESS:
7665 MACHREA ST.
LOS ANGELES, CA 91042

NO.	ISSUED FOR:

JOB NO.:	20034
DRAWN BY:	A.T.
CHECKED BY:	A.T.
DATE:	07-13-23

SHEET DESCRIPTION:
LOT COVERAGE DIAGRAM

SHEET NUMBER:
G-103

FIRST FLOOR AREA DIAGRAM

SCALE: 1/4"=1'-0"

SEE "PROPOSED AREAS" TABLE ON G-101 FOR AREA TOTALS OF ALL FLOORS AND FAR.

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PROJECT TITLE:
MACHREA
7 SMALL LOT SFR

PROJECT ADDRESS:
7665 MACHREA ST.
LOS ANGELES, CA 91042

NO.	ISSUED FOR:

JOB NO.:	20034
DRAWN BY:	A.T.
CHECKED BY:	A.T.
DATE:	07-13-23

SHEET DESCRIPTION:
FIRST FLOOR AREA DIAGRAM

SHEET NUMBER:
G-111

SEE "PROPOSED AREAS" TABLE ON G-101 FOR AREA TOTALS OF ALL FLOORS AND FAR.

SECOND FLOOR AREA DIAGRAM

SCALE: 1/4"=1'-0"

1

PROJECT TEAM:

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PROJECT TITLE:
MACHREA
7 SMALL LOT SFR

PROJECT ADDRESS:
7665 MACHREA ST.
LOS ANGELES, CA 91042

NO.	ISSUED FOR:

JOB NO.:	20034
DRAWN BY:	A.T.
CHECKED BY:	A.T.
DATE:	07-13-23

SHEET DESCRIPTION:
SECOND FLOOR AREA DIAGRAM

SHEET NUMBER:
G-112

THIRD FLOOR AREA DIAGRAM

SCALE: 1/4"=1'-0" (1)

SEE "PROPOSED AREAS" TABLE ON G-101 FOR AREA TOTALS OF ALL FLOORS AND FAR.

PROJECT TEAM:

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C.37632
REN.12-31-2022
STATE OF CALIFORNIA

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NERO-Y@INBOX.RU

CIVIL ENGINEER:
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HAYK MARTIROSIAN
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GLENDALE, CA 91208
(818) 547-0543
HAYK@TECHNALAND.COM

PROJECT TITLE:

MACHREA
7 SMALL LOT SFR

PROJECT ADDRESS:
7665 MACHREA ST.
LOS ANGELES, CA 91042

NO.	ISSUED FOR:

JOB NO.:	20034
DRAWN BY:	A.T.
CHECKED BY:	A.T.
DATE:	07-13-23

SHEET DESCRIPTION:
THIRD FLOOR AREA DIAGRAM

SHEET NUMBER:

G-113

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CITY OF LOS ANGELES
CALIFORNIA

ERIC GARCETTI
MAYOR

BOARD OF
BUILDING AND SAFETY
COMMISSIONERS

VAN AMBATELOS
PRESIDENT

JAVIER NUNEZ
VICE PRESIDENT

JOSELYN GEAGA-ROSENTHAL
GEORGE HOVAGUIMIAN
ELVIN W. MOON

DEPARTMENT OF
BUILDING AND SAFETY
201 NORTH FIGUEROA STREET
LOS ANGELES, CA 90012

OSAMA YOUNAN, P.E.
GENERAL MANAGER
SUPERINTENDENT OF BUILDING

JOHN WEIGHT
EXECUTIVE OFFICER

May 17, 2021

Armen Tutundzhyan
3746 Foothill Blvd. #311
Glendale, CA 91214

RE: 7665 W MACHREA ST **APN: 2558-002-015**

In response to your request of May 14, 2021, regarding zoning information on the above referenced property ("Property"), please be advised of the following:

The property, known as Tract: TR 14078, Block: None, Lot: 10, which is shown on the Zoning Map to be located in the **RD3-1** Zone. See the attached print out of the Parcel Profile Report for zoning related information pertaining to this property.

You requested a determination of the lot lines. Please be advised of the following:

In order to better understand how and why we are making our determination, we should first see how some common terms are defined in the zoning code. According to LAMC Section 12.03, these terms are defined as follows:

LAMC SECTION 12.03 – "DEFINITIONS"

FRONTAGE. *All property fronting on one (1) side of a street between intersecting or intercepting streets, or between a street and right-of-way, waterway, end of dead-end street, or city boundary measured along the street line. An intercepting street shall determine only the boundary of the frontage on the side of the street which it intercepts.*

LOT. *A parcel of land occupied or to be occupied by a use, building or unit group of buildings and accessory buildings and uses, together with the yards, open spaces, lot width and lot area as are required by this chapter and fronting for a distance of at least 20 feet upon a street as defined here, or upon a private street as defined in Article 8 of this chapter. The width of an access-strip portion of a*

lot shall not be less than 20 feet at any point. In a residential planned development or an approved small lot subdivision a lot need have only the street frontage or access as is provided on the recorded subdivision tract or parcel map for the development. ***(Amended by Ord. No. 176,354, Eff. 1/31/05.)***

LOT, CORNER. *A lot situated at the intersection of two (2) or more streets having an angle of intersection of not more than one hundred thirty five (135) degrees.*

LOT, INTERIOR. *A lot other than a corner lot.*

LOT, KEY. *The first interior lot to the rear of a reversed corner lot and not separated therefrom by an alley.*

LOT, REVERSED CORNER. *A corner lot the side street line of which is substantially a continuation of the front line of the first lot to its rear.*

LOT, THROUGH. *A lot having a frontage on two parallel or approximately parallel streets, but not including those lots having frontage on a street and frontage on a navigable public canal or waterway parallel or approximately parallel to said street.* ***(Amended by Ord. No. 184,802, Eff. 3/17/17.)***

LOT LINE, FRONT. *In the case of an interior lot, the line separating the lot from the street or place, and in the case of a corner lot, a line separating the narrowest street frontage of the lot from the street, except in those cases where the latest tract deed restrictions specify another line as the front lot line.*

LOT LINE, REAR. *A lot line which is opposite and most distant from the front lot line and, in the case of an irregular, triangular, or gore-shaped lot, a line ten (10) feet in length within the lot, parallel to and at the maximum distance from the front line.*

LOT LINE, SIDE. *Any lot boundary line not a front lot line or a rear lot line.*

STREET. *Any public thoroughfare other than an alley or walk, except that in those cases where a subdivision has been recorded containing lots which abut only on an alley or walk, said alley or walk may be considered to be a street.*

This property is considered to be an Interior Lot. As defined above, the lot line fronting on Machrea Street shall be the front lot line. The remaining lot lines shall be as indicated in the attached zoning map.

This letter is in response to a zoning code question only and based on limited information. Full code compliance shall also be to the satisfaction of the Department of Building and Safety Plan Check through the submittal of fully detailed plans.

This information is provided as of May 17, 2021 and the zone is as shown on the Zoning Map. Should you need any further assistance pertaining to this matter, please contact Eric Wong at Eric.Wong@lacity.org.

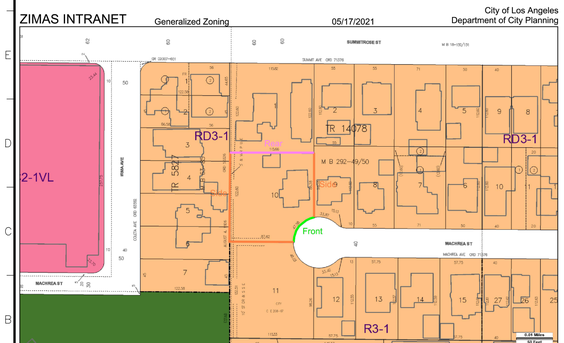
Eric Wong
Structural Engineering Associate II

Chad Doi
Zoning Engineer

Attachments

CD:EW:ew

ZIMAS INTRANET Generalized Zoning 05/17/2021 City of Los Angeles Department of City Planning



Address: 7665 W MACHREA ST
APN: 2558002015
PIN #: 204B197 218

Tract: TR 14078
Block: None
Lot: 10
Arb: None

Zoning: RD3-1
General Plan: Low Medium I Residential

ZONING DETERMINATION LETTER:

NOTES TO CONTRACTOR:

1. THE CONTRACTOR SHALL MAINTAIN PROPER ACCESS FOR FIRE DEPARTMENT VECHICLES AND EQUIPMENT AT ALL TIMES. ANY CHANGES MADE TO FIRE DEPARTMENT ACCESS ROUTES SHALL BE REVIEWED BY FIRE DEPARTMENT AUTHORITIES HAVING JURISDICTION PRIOR TO CHANGING ACCESS ROUTING.
2. THE CONTRACTOR SHALL SECURE AND PAY FOR ALL NECESSARY PERMITS AND NOTIFY THE PROPER AUTHORITIES HAVING JURISDICTION OVER THE WORK PRIOR TO STARTING. SAID PERMITS AND CERTIFICATIONS SHALL BE KEPT ON THE SITE AT ALL TIMES.
3. PRIOR TO START OF WORK, THE CONTRACTOR SHALL CAREFULLY INSPECT AND VERIFY ALL CONDITIONS SHOWN ON THE CONTRACT DRAWINGS. IF WORK CAN NOT BE PERFORMED AS SHOWN, THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY. WORK PERFORMED AFTER SUCH DISCOVERY, UNLESS AUTHORIZED BY THE OWNER, SHALL BE DONE AT THE CONTRACTOR'S RISK.
4. THE CONTRACTOR SHALL VERIFY AND CHECK ALL DIMENSIONS AND ELEVATIONS AT THE PROJECT SITE AND THE OVERALL CORECTNESS OF THESE DOCUMENTS BY STUDYING THEM THROUGHLY AND IF THERE ARE ANY QUESTIONS TO CONTACT THE OWNER OR DESIGNER IMMEDIATELY FOR CLARIFICATION PRIOR TO THE BIDDING AND BEFORE THE START OF CONSTRUCTION.
5. THE CONTRACTOR SHALL NOT INTERRUPT EXISTING UTILITIES SERVING EXISTING FACILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY THE PROPERTY OWNER. PROVIDE TEMPORARY SERVICES DURING CONSTRUCTION.
6. THE WORK SHALL INCLUDE ALL DEMOLITION AND REMOVALS NOT SPECIFICALLY INDICATED ON DRAWINGS BUT NECESSARY FOR THE COMPLETION OF THE WORK.
7. THE CONTRACTOR SHALL COORDINATE ANY AND ALL REQUIREMENTS FOR OFF SITE IMPROVEMENTS INCLUDING, BUT NOT LIMITED TO SIDEWALKS, DRIVEWAYS, CURBS, GUTTERS, UTILITIES, ETC. OFF–SITE IMPROVEMENTS SHALL MEET THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION.
8. THE CONTRACTOR SHALL PROVIDE PROTECTIVE BARRICADES WHERE REQUIRED DURING CONSTRUCTION.
9. THE CONTRACTOR SHALL KEEP ALL EXITS READILY ACCESSIBLE AND UNOBSTRUCTED AT ALL TIMES.
10. DO NOT SCALE DRAWINGS. USE DIMENSIONS INDICATED. DIMENSIONS HAVE PREFERENCE OVER SCALE.
11. WHEN A DETAIL IS IDENTIFIED AS TYPICAL, THE CONTRACTOR SHALL APPLY THIS DETAIL TO EVERY LIKE CONDITION WHETHER OR NOT THE REFERENCE IS REPEATED IN EVERY INSTANCE.
12. THE SIZES, LOCATION FOR MOUNTINGS AND ATTACHMENTS AND LOCATIONS OF UTILITY CONNECTIONS FOR EACH ITEM OF EQUIPMENT SHOWN ON THE DRAWINGS ARE FOR ILLUSTRATION ONLY. ALL CAN VARY FROM MANUFACTURER TO MANUFACTURER AND ARE DEPENDENT ON THE EXACT MANUFACTURER'S MODEL FURNISHED. THE CONTRACTOR SHALL PROVIDE COORDINATE EXACT DIMENSIONS RELATING TO THE SIZE OF EACH ITEM OF EQUIPMENT, THE LOCATIONS OF ALL FITTINGS AND ATTACHMENTS FOR EACH EQUIPMENT AND FOR ALL UTILITY CONNECTIONS TO EACH ITEM OF EQUIPMENT.
13. THE CONTRACTOR SHALL PROVIDE AND COORDINATE THE EXACT DIMENSIONS, SIZES AND POSITIONS OF ALL OPENINGS IN FLOOR, ROOF AND WALL CONSTRUCTION NECESSARY FOR THE INSTALLATION OF THE WORK.
14. PROVIDE LABELS ON DOORS, FRAMES AND OTHER ASSEMBLIES AT OPENINGS IN FIRE RATED CONSTRUCTION.
15. THE INTENT OF THE DRAWINGS AND SPECIFICATIONS IS TO EXECUTE THE WORK IN ACCORDANCE WITH TITLE 24, CALIFORNIA CODE OF REGULATIONS. SHOULD ANY CONDITIONS DEVELOP NOT COVERED BY THE CONTRACT DOCUMENTS WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH SAID TITLE 24, CALIFORNIA CODE OF REGULATIONS, CONTRACTOR SHALL NOTIFY THE OWNER BEFORE PROCEEDING WITH THE WORK.THE GENERAL CONTRACTOR SHALL CONTACT THE DEPARTMERNT OF BUILDING AND SAFETY AND VERIFY THAT THEY ARE NOW THE CONTRACTOR OF RECORD FOR THIS PROJECT. THEY SHALL PROVIDE THE DEPARTMENT OF BUILDING AND SAFETY WITH PROOF OF CURRENT WORKERS COMPENSATION INSURANCE AND SHALL ASSUME FULL RESPONCIBILITY FOR SUCH COVRAGE. THIS IS TO BE DONE BY THE GENERAL CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
16. ALL WORK SHALL BE DONE IN AN APPROVED WORKMANLIKE MANNER.
17. APPROVALS BY BUILDING INSPECTOR SHALL NOT CONSTITUTE AUTHORITY TO DEVIEATE FROM THIS PLANS AND SPECIFICATIONS.
18. THE CONTRACTORS SHALL BE REQUIRED TO MAINTAIN WORKMAN'S COMPENSATION INSURANCE AS PROVIDED BY CALIFORNIA LAW, ALSO PUBLIC LIABILITY AND PROPERTY DAMAGE INSURANCE OF ADEQUATE COVRAGE, FIRE INSURANCE, THEFT AND VANDALISM INSURANCE DURING CONSTRUCTION UP TO THE CERTIFICATE OF OCCUPANCY ISSUED AND/OR OWNER'S SATISFACTION OF COMPLETION OF CONTRACT.
19. FOR GENERAL AND PLAN LAYOUT, CONSTRUCTION DETAILS, ETC. REFER ONLY TO THE ATCHITECTURAL SHEETS WHICH SHALL TAKE PRECEDENCE OVER ANY OTHER DRAWINGS. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE SHOWN AS FOLLOWS: FACE OF WALL AT MASONRY, INDICATED FACE OF STUD, CENTER LINE, GRID LINE, TOP OF CONCRETE SLAB OR FOUNDATION, TOP OF PLYWOOD, ETC. DRAWINGS SHALL NOT BE SCALED TO DERMINE ANY DIMENSIONS, REFER ONLY TO WRITTEN INFORMATION AND DETAIL DRAWINGS.

GENERAL NOTES - (CONT'D):

FIRE PROTECTION:

A. THE BUILDING SHALL BE EQUIPPED WITH AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION R313.3 OR NFPA13D. (R313, 12.21A17(d))

B. THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION.

C. AN APPROVED SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM & HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACKUP AND LOW BATTERY SIGNAL. (R314)

D. CARBON MONOXIDE ALARM IS REQUIRED PER (420.6,R315)
AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL–BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. (R315)

E. A FIRE ALARM (VISUAL & AUDIBLE) SYSTEM IS REQUIRED. THE ALARM SYSTEM MUST BE APPROVED BY THE FIRE DEPARTMENT AND ELECTRICAL PLAN CHECK PRIOR TO INSTALLATION (LAMC 57.122)

BATHROOMS:

A. ALL SHOWER ENCLOSURES, REGARDLESS OF SHAPE, SHALL HAVE A MINIMUM FINISHED INTERIOR AREA OF NOT LESS THAT 1024 SQUARE INCHES (0.66m²). AND SHALL BE CAPABLE OF ENCOMPASSING A 30 INCH DIAMETER (0.76 m) CIRCLE. THE MINIMUM AREA AND DIMENSIONS SHALL BE MAINTAINED TO A POINT 70 INCHES (1.8m) ABOVE THE SHOWER DRAIN OUTLET. (CPC SEC. 410.4).

B. A MIN. 12" SQ. ACCESS PANEL TO THE BATHTUB TRAP SLIP JOINT CONNECTION IS REQUIRED. (CPC SEC. 405.2).

BUILDING ENVELOPE:

GLAZING IN THE FOLLOWING LOCATIONS SHALL BE SAFETY GLAZING CONFORMING TO THE HUMAN IMPACT LOADS OF SECTION R308.3 (SEE EXCEPTIONS) (R308.4):

A. FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BIFOLD DOOR ASSEMBLIES.

B. GLAZING IN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN a 24–INCH ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE.

C. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
C.A. EXPOSED AREA OF AN INDIVIDUAL PANE GRATER THAN 9 SQUARE FEET.
C.B. BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR.
C.C. TOP EDGE GREATER THAN 36 INCHES ABOVE FLOOR.
C.D. ONE OR MORE WALKING SURFACE WITHIN 36 INCHES HORIZONTALLY OF THE GLAZING.

D. GLAZING IN GUARDS AND RAILINGS.

E. GLAZING IN ENCLOSURES FOR OR WALLS FACING HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.

F. GLAZING IN WALLS AND FENCES ADJACENT TO INDOOR OR OUTDOOR SWIMMING POOLS, HOT TUBS AND SPAS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A WALKING SURFACE AND WITHIN 60 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE WATER'S EDGE.

G. GLAZING WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 36 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE OF STAIRWAYS, LANDINGS BETWEEN FLIGHTS OF STAIRS AND RAMPS.

H. GLAZING ADJACENT TO THE LANDING AT THE BOTTOM OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 36 INCHES ABOVE THE LANDING AND WITHIN A 60 INCH HORIZONTAL ARC LESS THAN 180 DEGREES FROM THE BOTTOM TREAD NOSING (R304.2)

I. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (R319.1)

J. PROTECTION OF WOOD AND WOOD BASED PRODUCTION FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R317.1 BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE–TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.

K. PROVIDE ANTI–GRAFFITI FINISH WITHIN THE FIRST 9 FEET MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. EXCEPTION: MAINTENANCE OF BUILDING AFTEMPT IS RECORDED BY THE OWNER TO COVENANT AND AGREE WITH THE CITY OF LOS ANGELES TO REMOVE ANY GRAFFITI WITHIN 7–DAYS OF THE GRAFFITI BEING APPLIED. (6306)

SITE:

A. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM THE FOUNDATION WALLS WHT A MINIMUM FALL OF 6 INCHES WITHIN THE FIRST 10 FEET. (R401.3)

SMALL LOT SUBDIVISION NOTE:

FOR SMALL LOT SUBDIVISON PROJECTS, NO DEMOLITION, GRADING, BUILDING PERMIT OR CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNLESS THE DIRECTOR OF PLANNING HAS REVIEWED THE APPLICATION AND DETERMINED THAT THE SMALL LOT SUBDIVISION PROJECT COMPLIES WITH THE CITY PLANNING COMMISSIONS SMALL LOT DESIGN STANDARDS PER LAMC 12.22 C27.A.2.

GENERAL NOTES:

GENERAL NOTES:

A. ALL CONSTRUCTION SHALL COMPLY WITH THE 2022 EDITION OF THE CBC, CMC, CPC, AND CEC AS ADOPTED AND AMENDED BY THE STATE OF CALIFORNIA IN TITLE 24 CCR AND THIS JURISDICTION.

B. SEPARATE PERMITS MAY BE REQUIRED FOR MECHANICAL, ELECTRICAL, PLUMBING, SHORING, GRADING, DEMOLITION, RETAINING WALLS, SIGNS AND FIRE SPRINKLER SYSTEMS.

C. ALL PROPERTY LINES, EASEMENTS, AND EXISTING BUILDINGS HAVE BEEN INDICATED ON THE SITE PLAN.

D. A SECURITY FENCE SHALL BE PROVIDED AROUND THE CONSTRUCTION AREA THAT SHALL BE INSTALLED PRIOR TO EXCAVATION AND/OR FOUNDATION TRENCHING. (BMC 9–1–1–3302.3)

E. WATER SHALL BE PROVIDED ON THE SITE AND USED TO CONTROL DUST.

F. TEMPORARY TOILET FACILITIES SHALL BE PROVIDED ON SITE. (BMC 9–1–1–3305)

G. THE FINISH GRADE SHALL SLOPE A MIN. OF 5%, OR 6", TO A POINT 10 FT FROM BUILDING FOUNDATION, OR TO AN APPROVED ALTERNATE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES SHALL SLOPE A MINIMUM OF 2%. (CRC R401.3)

H. THE TOP OF THE EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER A MINIMUM OF 12" PLUS 2%. (CRC R403.1.7.3)

I. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE–FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL–BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK–UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES – WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.

J. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170,158) SEPARATE PLUMBING PERMIT IS REQUIRED.

K. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM. (R306.3)

L. KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDES, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY. (R306.4)

M. BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR. (R307.2)

N. PROVIDE ULTRA LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.

O. UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. USHC LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMACE GRADE RATING. (RESEARCH REPORT NOT REQUIRED) R308.6.9.

P. PROVIDE 72 INCH HIGH NON–ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED SHATTER–RESISTANT MATERIALS FOR SHOWER ENCLOSURE. (1210.2.3,2406.4.5,R307.2,R308.4)

Q. WATER HEATER MUST BE STRAPPED TO WALL (SEC. 507.3, LAPC).

R. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325.

S. SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS, OR ADDITIONS (R314.2)

T. WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS, EXISTING DWELLINGS SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL–BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.2. CARBON MONOXIDE ALARMS SHALL BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2)

U. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION 303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT–CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE FLOOR LEVEL. (R303.1)

V. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.

W. OBTAIN PERMITS FROM PUBLIC WORKS PRIOR TO CONSTRUCTION FOR:
W.A. TEMPORARY PEDESTRIAN PROTECTION AS REQUIRED BY LABC SECTION 303.7.
W.B. FOR ANY CONSTRUCTION NEAR ANY STREET OR PUBLIC AREA.

X. OUTLETS ALONG WALL COUNTER SPACE, ISLAND AND PENINSULA COUNTER SPACE IN KITCHENS SHALL HAVE A MAXIMUM SPACING OF 48". (210–52 NEC).

Y. THE FIRST LIGHT IN NEW AND REMODELED BATHROOMS AND KITCHENS SHALL BE AN ENERGY EFFICIENT LIGHT MEETING A MINIMUM OF 40 LUMENS OR WATT (E.G. FLUORESCENT LAMP). (T–24, SEC. 130(b) & 150(k)).

Z. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (R319)

AA. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE

GARAGE:

A. DOORS BETWEEN GARAGE AND THE DWELLING UNIT SHALL BE SELF–CLOSING AND SELF–LATCHING, SOLID WOOD OR SOLID HONEYCOMB CORE STEEL NOT LESS THAN 1–3/8" THICK, OR HAVE A MINIMUM FIRE PROTECTION RATING OF 20 MINUTES. (R302.5.1)

B. THE GARAGE SHALL BE SEPARATED FROM THE DWELLING AND ITS ATTIC AREA IN ACCORDANCE WITH TABLE R302.6. (R302.6)

C. DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM OF NO. 26 GAGE SHEET STEEL OR OTHER APPROVED METRICAL AND THERE SHALL BE NO OPENINGS FROM THE DUCTS INTO THE GARAGE. (R302.5.2)

D. OTHER PENETRATIONS OF GARAGE/DWELLING CEILINGS AD WALLS ARE TO BE PROTECTED AS REQUIRED BY SECTION R302.11, ITEM 4 (R302.5.3).

E. GARAGE FLOOR SURFACE SHALL BE OF AN APPROVED NONCOMBUSTIBLE MATERIAL, AND THE AREA USED TO PARK VEHICLES SHALL BE SLOPED TO A DRAIN OR TOWARDS THE MAIN VEHICLE ENTRY. (R 309.1)

MEANS OF EGRESS:

A. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER–STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH ½ INCH GYPSUM BOARD. (R302.7)

B. ALL INTERIOR AN EXTERIOR STAIRWAYS SHALL BE ILLUMINATED. (R303.6)

C. PROVIDE 32" WIDE DOORS TO ALL INTERIOR ACCESSIBLE ROOMS WITHIN A DWELLING UNIT.

D. PROVIDE EMERGENCY EGRESS FROM SLEEPING ROOMS AND BASEMENTS. MIN. – 24" CLEAR HT, 20" CLEAR WIDTH, 5.7 SQ. FT. MIN. AREA.

INTERIOR ENVIRONMENT:

A. BATHROOMS, WATER COLSET COMPARTMENTS AND OTEHR SIMILAR ROOMS SHALL BE PROVED NATURAL VENTILATION OR WITH MECHANICAL VENTILATION CAPABLE OF 50 CFM EXHAUSTED DIRECTLY TO THE OUTSIDE. (R303.3)

B. HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 60" F AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE. (R303.8)

FIRE–RESISTANT RATED CONSTRUCTION:

A. IN COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTHVERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, BETWEEN A TOP STORY AND THE ROOF SPACE. (R302.11).

B. IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET. DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS. (R302.12)

C. FIRE BLOCKING MUST BE PROVIDED IN ACCORDANCE WITH SECTION 717 AT THE FOLLOWING LOCATIONS:
C.A. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS.
C.B. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT 10–FOOT INTERVALS ALONG THE LENGTH OF THE WALL.
C.C. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.
C.D. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF STAIRS IF THE WALL UNDER THE STAIRS IS UNFINISHED.
C.E. IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS, WITH NONCOMBUSTIBLE MATERIALS.

AS INSTRUMENT OF SERVICE, ALL DESIGN, IDEAS AND INFORMATION SHOWN ON THESE DRAWINGS ARE AND SHALL REMAIN THE PROPERTY OF THE CORPORATION ARMENARC. NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF ARMENARC. VISUAL CONTACT WITH THESE DRAWINGS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

PROJECT TEAM:

ARMENARC
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C.818.434.2250
ARMEN@ARMENARC.COM

LICENSED ARCHITECT
ARMEN TUTUNJIAN
C.37632
REN.12-31-2022
STATE OF CALIFORNIA

PROPERTY OWNER:
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7665 MACHREA ST.
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NERO-Y@INBOX.RU

CIVIL ENGINEER:
TLC, TECHNA LAND CO, INC.
HAYK MARTIROSIAN
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HAYK@TECHNALAND.COM

AS INSTRUMENT OF SERVICE, ALL DESIGN, IDEAS AND INFORMATION SHOWN ON THESE DRAWINGS ARE AND SHALL REMAIN THE PROPERTY OF ARMENARC. NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF ARMENARC. VISUAL CONTACT WITH THESE DRAWINGS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

PROJECT TITLE:
MACHREA
7 SMALL LOT SFR

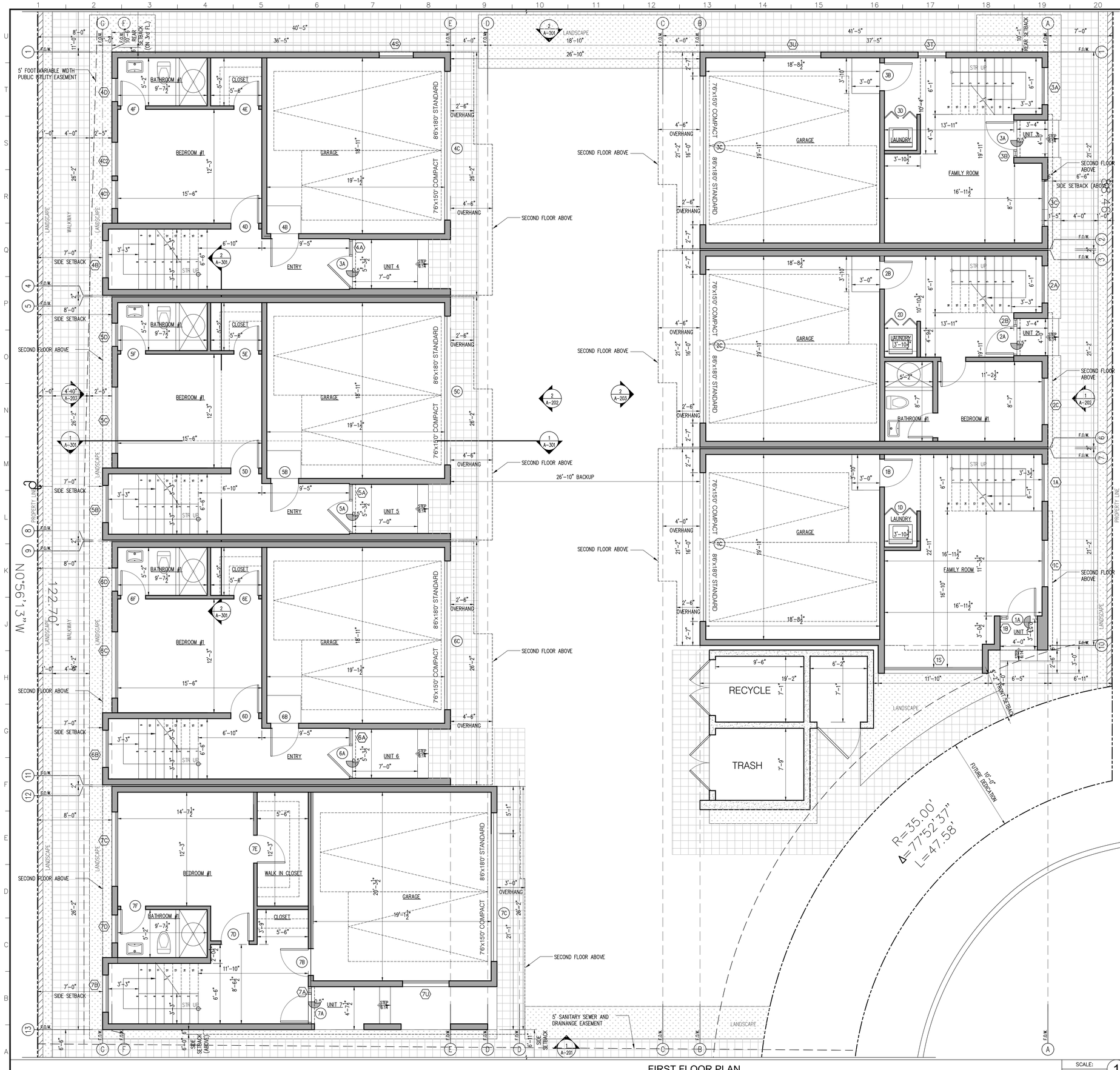
PROJECT ADDRESS:
7665 MACHREA ST.
LOS ANGELES, CA 91042

NO.	ISSUED FOR:

JOB NO.:	20034
DRAWN BY:	A.T.
CHECKED BY:	A.T.
DATE:	07–13–23

SHEET DESCRIPTION:
PROJECT NOTES / FORMS

SHEET NUMBER:
G-201



FIRST FLOOR PLAN

SCALE: 1/4"=1'-0" (1)

NOTES:

1. PROVIDE ULTRA LOW FLUSH WATER CLOSET FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION. ALL NEWLY INSTALLED PLUMBING FIXTURES SHALL COMPLY WITH TABLE 9.303.2.

2. MINIMUM 70" HGT. NON-ABSORBENT WALL (TILE) REQUIRED ADJACENT TO SHOWER AND APPROVED SHATTER-RESISTANT MATERIALS SHALL BE PROVIDED FOR SHOWER ENCLOSURE.

3. ALL NEW WINDOWS SHALL BE DOUBLE PANE UNLESS OTHERWISE NOTED.

4. PROVIDE FIBER GLASS BATT INSULATION IN NEW AREAS AS FOLLOWS:
   a. R-13 IN ALL NEW STUD WALLS
   b. R-30 IN ROOF – WITH ATTIC
   c. R-19 IN RAISED FLOOR

5. INSTALL GFCI OUTLETS IN NEW BATHROOMS

6. SMOKE DETECTORS SHALL BE PROVIDED AS FOLLOWS:
   a. IN NEW CONSTRUCTION SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK-UP AND LOW BATTERY SIGNAL. SMOKE DETECTORS SHALL BE LOCATED IN EACH SLEEPING ROOM, HALLWAY AND AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLING WITH MORE THAN ONE STORY
   b. IN EXISTING CONSTRUCTION SMOKE DETECTORS MAY BE BATTERY OPERATED, INSTALLED IN LOCATIONS AS SPECIFIED ABOVE.

7. CARBON MONOXIDE DETECTOR. INSTALL CARBON MONOXIDE DETECTOR IN THE LIVING SPACE NEAR THE BEDROOM. DETECTORS ARE REQUIRED IN DWELLINGS WHERE FUEL BURNING APPLIANCES ARE INSTALLED. CARBON MONOXIDE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING ELECTRICAL AND HAVE A BATTERY BACKUP. CARBON MONOXIDE DETECTORS SHALL COMPLY WITH UL2034 AND/OR NFPA 720. CO DETECTORS SHALL BE INSTALLED A MINIMUM OF FIVE (5) FEET ABOVE FINISH GRADE. CA RESIDENTIAL CODE 2016 CHAPTER 3 SEC. 315

8. WATER HEATER MUST BE SEISMIC STRAPPED TO WALL IN TWO PLACES. ONE, IN THE UPPER 1/3 OF THE TANK. THE LOWER POINT SHALL BE A MINIMUM OF 4 INCHES ABOVE THE CONTROLS. A T&T VALVE PIPE TO THE EXTERIOR. A MINIMUM 50 SQ. INCHES VENT. IN THE TOP & BOTTOM OF THE W/H COMPARTMENT.

9. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R306.).

10. KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4).

11. BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).

12. ALL NEWLY INSTALLED PLUMBING FIXTURES SHALL COMPLY WITH TABLE 9.303.2

13. EACH NEW APPLIANCE PROVIDED SHALL BE "ENERGY STAR" COMPLIANT.

14. HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68°F AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE. (R303.8)

15. BATHROOM EXHAUST FAN SHALL COMPLY WITH THE FOLLOWING:
   15.1.FANS BE "ENERGY STAR" COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
   15.2.FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.

16. THE PANEL OR SUB-PANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE

17. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING AS EV CAPABLE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED "EV CAPABLE".

18. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (R319.1)

19. PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R317.1 BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVES AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.

20. PROVIDE ANTI-GRAFITI FINISH WITHIN THE FIRST 9 FT., MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS.

21. IF ADVERSE SOIL CONDITIONS ARE ENCOUNTERED, A SOILS INVESTIGATION REPORT MAY BE REQUIRED.

LEGEND:

S.D.	NEW SMOKE DETECTOR SEE NOTE #6.
C.O.	CARBON MONOXIDE DETECTOR SEE NOTE #7
	EXHAUST FAN CAPABLE OF MINIMUM 50 CFM EXHAUSTING DIRECTLY TO THE OUTSIDE, SEE NOTE #15, CONTROLLED BY HUMIDISTAT. ENERGY STAR COMPLIANT
(N)	NEW CONSTRUCTION (E) EXISTING CONSTRUCTION
	(N) 2X @ 16" O.C. WOOD STUDWALL, U.N.O.
	STAMPED CONCRETE PATTERN

PROJECT TEAM:

ARMENARC
1812 W. BURBANK BLVD #148
BURBANK, CA 91506
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LICENSED ARCHITECT
ARMEN TUTUNJIAN
C-37632
REN.12-31-2022
STATE OF CALIFORNIA

PROPERTY OWNER:
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PROJECT TITLE:
MACHREA
7 SMALL LOT SFR

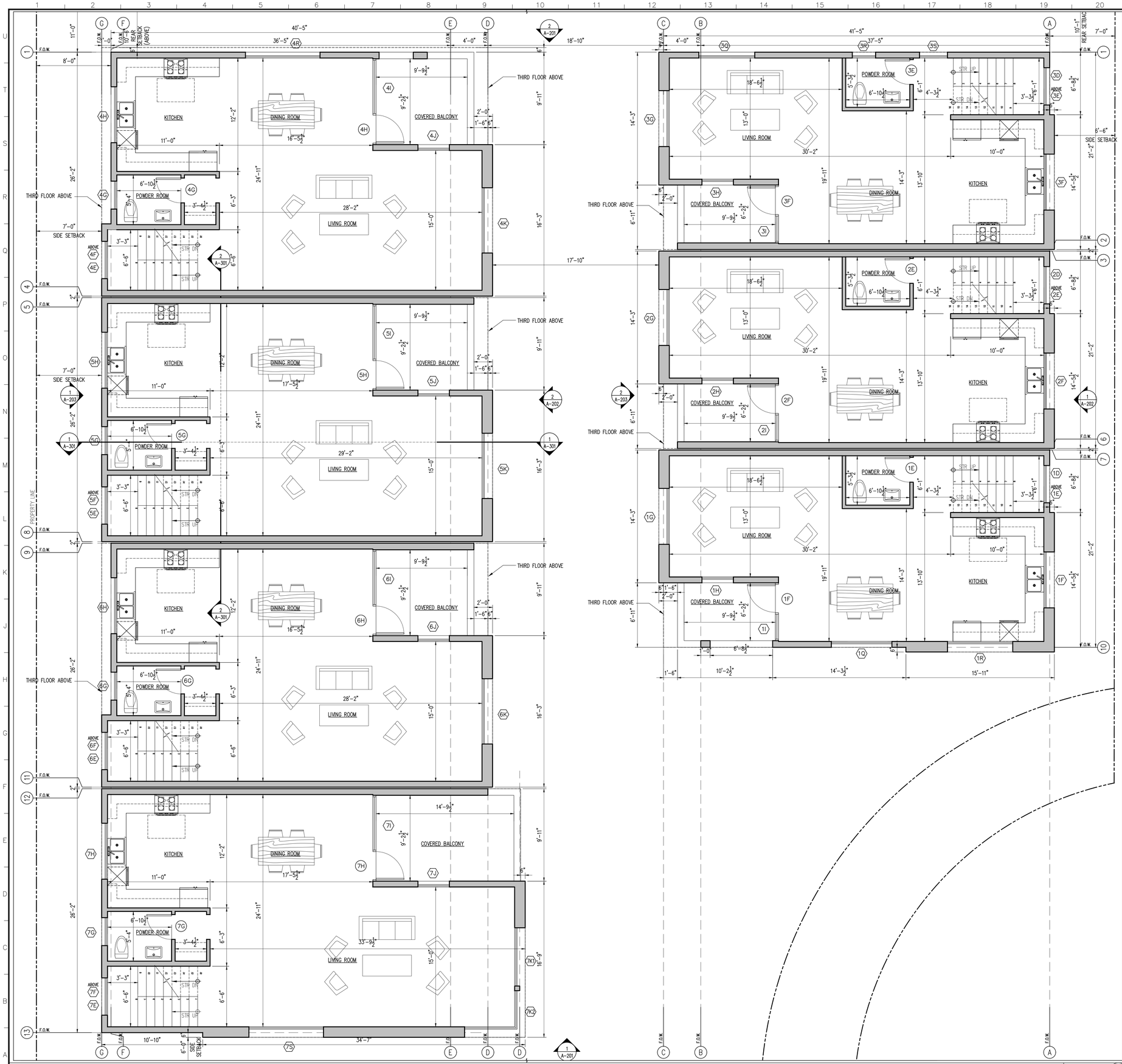
PROJECT ADDRESS:
7665 MACHREA ST.
LOS ANGELES, CA 91042

NO.	ISSUED FOR:

JOB NO.:	20034
DRAWN BY:	A.T.
CHECKED BY:	A.T.
DATE:	07-13-23

SHEET DESCRIPTION:
FIRST FLOOR PLAN

SHEET NUMBER:
A-111



SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"

NOTES:

1. PROVIDE ULTRA LOW FLUSH WATER CLOSET FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION. ALL NEWLY INSTALLED PLUMBING FIXTURES SHALL COMPLY WITH TABLE 9.303.2.

2. MINIMUM 70" HGT. NON-ABSORBENT WALL (TILE) REQUIRED ADJACENT TO SHOWER AND APPROVED SHATTER-RESISTANT MATERIALS SHALL BE PROVIDED FOR SHOWER ENCLOSURE.

3. ALL NEW WINDOWS SHALL BE DOUBLE PANE UNLESS OTHERWISE NOTED.

4. PROVIDE FIBER GLASS BATT INSULATION IN NEW AREAS AS FOLLOWS:
   a. R-13 IN ALL NEW STUD WALLS
   b. R-30 IN ROOF – WITH ATTIC
   c. R-19 IN RAISED FLOOR

5. INSTALL GFCI OUTLETS IN NEW BATHROOMS

6. SMOKE DETECTORS SHALL BE PROVIDED AS FOLLOWS:
   a. IN NEW CONSTRUCTION SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK-UP AND LOW BATTERY SIGNAL. SMOKE DETECTORS SHALL BE LOCATED IN EACH SLEEPING ROOM, HALLWAY AND AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLING WITH MORE THAN ONE STORY
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7. CARBON MONOXIDE DETECTOR. INSTALL CARBON MONOXIDE DETECTOR IN THE LIVING SPACE NEAR THE BEDROOM. DETECTORS ARE REQUIRED IN DWELLINGS WHERE FUEL BURNING APPLIANCES ARE INSTALLED. CARBON MONOXIDE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING ELECTRICAL AND HAVE A BATTERY BACKUP. CARBON MONOXIDE DETECTORS SHALL COMPLY WITH UL2034 AND/OR NFPA 720. CO DETECTORS SHALL BE INSTALLED A MINIMUM OF FIVE (5) FEET ABOVE FINISH GRADE. CA RESIDENTIAL CODE 2016 CHAPTER 3 SEC. 315

8. WATER HEATER MUST BE SEISMIC STRAPPED TO WALL IN TWO PLACES. ONE, IN THE UPPER 1/3 OF THE TANK. THE LOWER POINT SHALL BE A MINIMUM OF 4 INCHES ABOVE THE CONTROLS. A T&T VALVE PIPE TO THE EXTERIOR. A MINIMUM 50 SQ. INCHES VENT. IN THE TOP & BOTTOM OF THE W/H COMPARTMENT.

9. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R306.).

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LEGEND:

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C.O.	CARBON MONOXIDE DETECTOR SEE NOTE #7
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(N)	NEW CONSTRUCTION (E) EXISTING CONSTRUCTION
	(N) 2X @ 16" O.C. WOOD STUDWALL, U.N.O.
	STAMPED CONCRETE PATTERN

PROJECT TEAM:

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PROJECT TITLE:

MACHREA
7 SMALL LOT SFR

PROJECT ADDRESS:
7665 MACHREA ST.
LOS ANGELES, CA 91042

NO.	ISSUED FOR:

JOB NO.:	20034
DRAWN BY:	A.T.
CHECKED BY:	A.T.
DATE:	07-13-23

SHEET DESCRIPTION:
SECOND FLOOR PLAN

SHEET NUMBER:

A-112

THIRD FLOOR PLAN

SCALE: 1/4"=1'-0"

1

NOTES:

1. PROVIDE ULTRA LOW FLUSH WATER CLOSET FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION. ALL NEWLY INSTALLED PLUMBING FIXTURES SHALL COMPLY WITH TABLE 9.303.2.

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LEGEND:

S.D.	NEW SMOKE DETECTOR SEE NOTE #6.
C.O.	CARBON MONOXIDE DETECTOR SEE NOTE #7
	EXHAUST FAN CAPABLE OF MINIMUM 50 CFM EXHAUSTING DIRECTLY TO THE OUTSIDE, SEE NOTE #15, CONTROLLED BY HUMIDISTAT. ENERGY STAR COMPLIANT
(N)	NEW CONSTRUCTION (E) EXISTING CONSTRUCTION
	(N) 2X @ 16" O.C. WOOD STUDWALL, U.N.O.
	STAMPED CONCRETE PATTERN

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LICENSED ARCHITECT
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STATE OF CALIFORNIA

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PROJECT TITLE:
MACHREA
7 SMALL LOT SFR

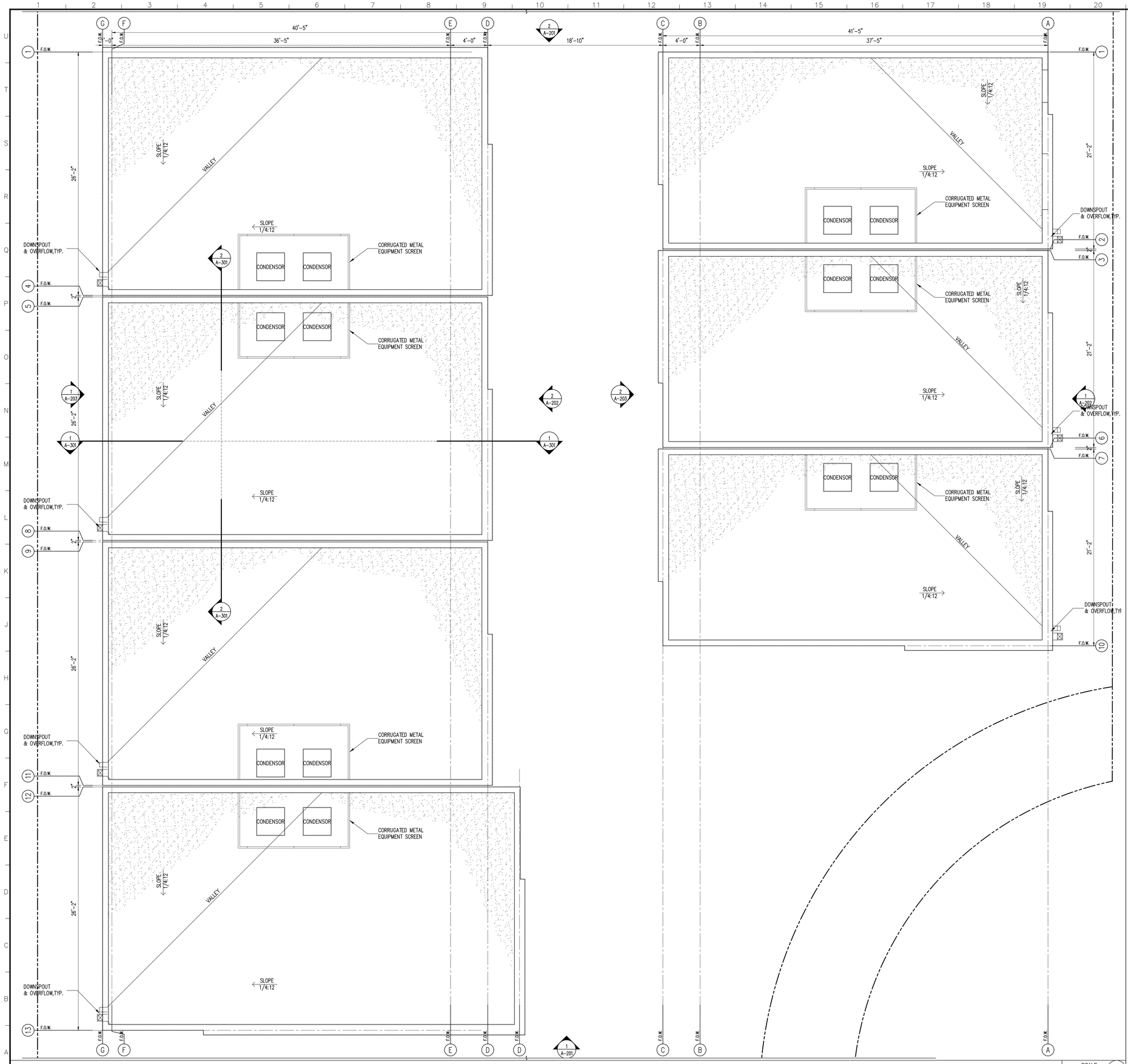
PROJECT ADDRESS:
7665 MACHREA ST.
LOS ANGELES, CA 91042

NO.	ISSUED FOR:

JOB NO.:	20034
DRAWN BY:	A.T.
CHECKED BY:	A.T.
DATE:	07-13-23

SHEET DESCRIPTION:
THIRD FLOOR PLAN

SHEET NUMBER:
A-113



SINGLE FAMILY RESIDENCE ROOF PLAN

SCALE: 1/4"=1'-0" (1)

LEGEND:

60 MIL SLATE GRAY SURE-WELD TPO REINFORCED MEMBRANE
O/ 1/4" DENS-DECK. CLASS A MIN.
ICC-ESR #1463. INSTALL PER MANUFACTURERS RECOMMENDATION & ICC REPORT.
OR EQUAL.

PROJECT TEAM:

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PROJECT TITLE:

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7 SMALL LOT SFR

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LOS ANGELES, CA 91042

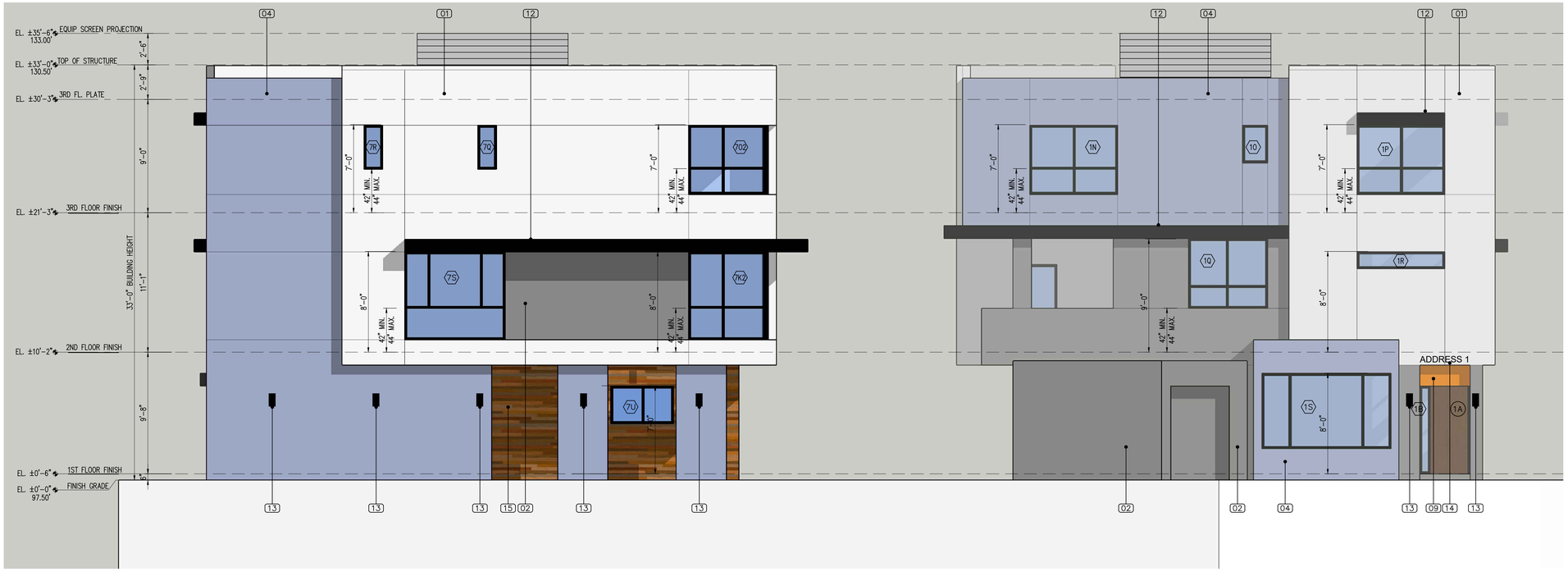
NO.	ISSUED FOR:

JOB NO.:	20034
DRAWN BY:	A.T.
CHECKED BY:	A.T.
DATE:	07-13-23

SHEET DESCRIPTION:
ROOF PLAN
SINGLE FAMILY RESIDENCE

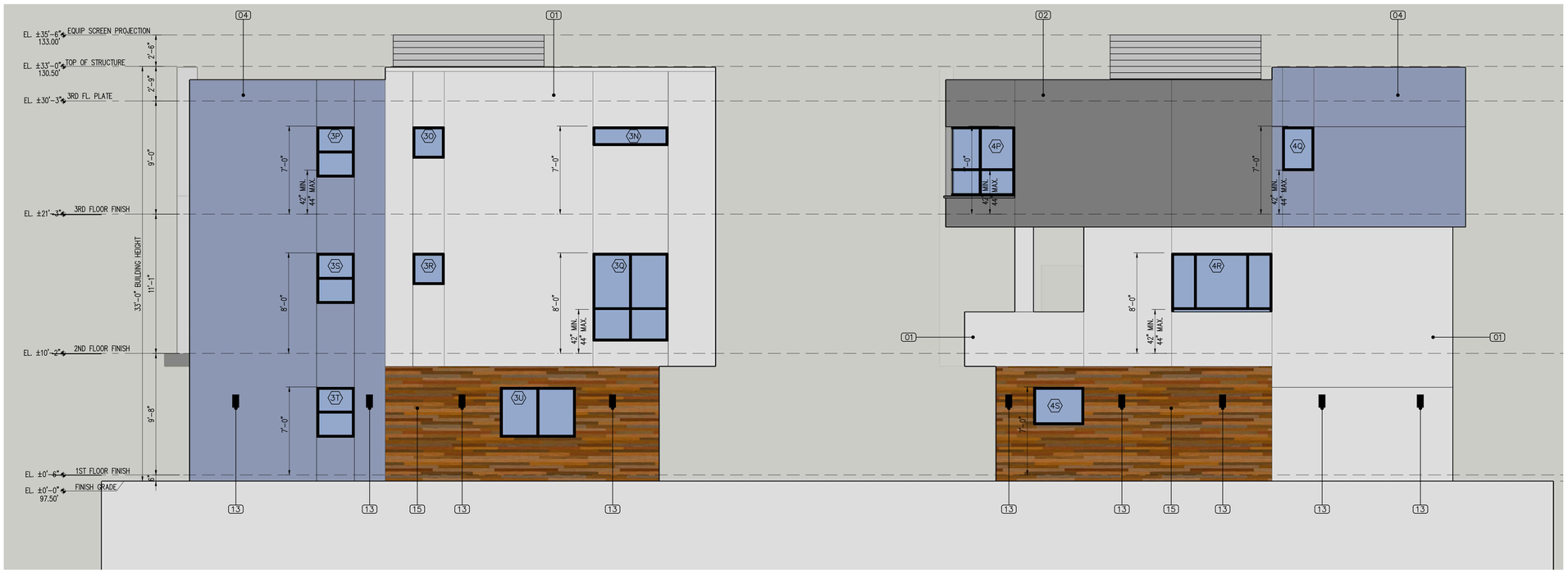
SHEET NUMBER:

A-131



SOUTH ELEVATION

SCALE: 1/4"=1'-0" (1)



NORTH ELEVATION

SCALE: 1/4"=1'-0" (2)

NOTES:

HEIGHT MEASURED FROM GRADE, AS DEFINED PER DEFINITIONS 12.03, SEE BELOW.

GRADE (ADJACENT GROUND LEVEL). IS THE LOWEST POINT OF ELEVATION OF THE FINISHED SURFACE OF THE GROUND, PAVING OR SIDEWALK WITHIN THE AREA BETWEEN THE BUILDING AND THE PROPERTY LINE, OR WHEN THE PROPERTY LINE IS MORE THAN 5 FEET FROM THE BUILDING, BETWEEN THE BUILDING AND A LINE 5 FEET FROM THE BUILDING. THIS DEFINITION DOES NOT APPLY TO ANY BUILDING OR STRUCTURE LOCATED WITHIN THE BOUNDARIES OF THE CENTURY CITY NORTH OR CENTURY CITY SOUTH SPECIFIC PLANS AND WHICH IS SUBJECT TO SECTION 12.21.2 OF THIS CODE. (AMENDED BY ORD. NO. 160,657, EFF. 2/17/86, OPER. 6/17/86.)

EXTERIOR FINISH SCHEDULE:

TAG	MATERIAL	COLOR	MANF. / SUPPLIER
13	SLIM 12 DOWNLIGHT	BLACK	RAB LIGHTING OR EQ.
14	ALUMINUM REVERSE CHANNEL ADDRESS NUMBERS	BLACK	TBD
15	COMPOSITE PANEL WITH WOOD FINISH	TIMBER SERIES, TEAK	APOLIC OR EQUAL
16	CORRUGATED METAL EQUIPMENT SCREEN	GREY	ATAS INT. OR EQ.

EXTERIOR FINISH SCHEDULE:

TAG	MATERIAL	COLOR	MANF. / SUPPLIER
07	SMOOTH EXTERIOR PLASTER	TURQUOISE	LA HABRA OR EQUAL
08	SMOOTH EXTERIOR PLASTER	BLUE	LA HABRA OR EQUAL
09	SMOOTH EXTERIOR PLASTER	ORANGE	LA HABRA OR EQUAL
10	SMOOTH EXTERIOR PLASTER	RED	LA HABRA OR EQUAL
11	SMOOTH EXTERIOR PLASTER	MAGENTA	LA HABRA OR EQUAL
12	SMOOTH EXTERIOR PLASTER	BLACK	LA HABRA OR EQUAL

EXTERIOR FINISH SCHEDULE:

TAG	MATERIAL	COLOR	MANF. / SUPPLIER
01	SMOOTH EXTERIOR PLASTER	WHITE	LA HABRA OR EQUAL
02	SMOOTH EXTERIOR PLASTER	COAL MINER DET613	LA HABRA OR EQUAL
03	SMOOTH EXTERIOR PLASTER	DARK GREY CHARCOAL	LA HABRA OR EQUAL
04	SMOOTH EXTERIOR PLASTER	JADED CLOUDS DE5703	LA HABRA OR EQUAL
05	SMOOTH EXTERIOR PLASTER	YELLOW	LA HABRA OR EQUAL
06	SMOOTH EXTERIOR PLASTER	GREEN	LA HABRA OR EQUAL

PROJECT TEAM:

ARMENARC
1812 W. BURBANK BLVD #148
BURBANK, CA 91506
C.818.434.2250
ARMEN@ARMENARC.COM

LICENSED ARCHITECT
ARMEN TUTUNJIAN
C.37632
REN.12-31-2022
STATE OF CALIFORNIA

AS INSTRUMENT OF SERVICE, ALL DESIGN, IDEAS AND INFORMATION SHOWN ON THESE DRAWINGS ARE AND SHALL REMAIN THE PROPERTY OF THE CORPORATION ARMENARC. NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF ARMENARC. VISUAL CONTACT WITH THESE DRAWINGS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

PROPERTY OWNER:
NERSES YARIJANYAN
7665 MACHREA ST.
LOS ANGELES, CA 91042
(818) 406-1935
NERO-Y@INBOX.RU

CIVIL ENGINEER:
TLC, TECHNA LAND CO, INC.
HAYK MARTIROSIAN
1545 N. VERDUGO RD. #2
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PROJECT TITLE:

MACHREA
7 SMALL LOT SFR

PROJECT ADDRESS:
7665 MACHREA ST.
LOS ANGELES, CA 91042

NO.	ISSUED FOR:

JOB NO.:	20034
DRAWN BY:	A.T.
CHECKED BY:	A.T.
DATE:	07-13-23

SHEET DESCRIPTION:
ELEVATIONS

SHEET NUMBER:

A-201

EAST ELEVATION #1 (UNITS 1,2,3)

SCALE: 1/4"=1'-0" (1)

EAST ELEVATION #2 (UNITS 7,6,5,4)

SCALE: 1/4"=1'-0" (2)

NOTES:

HEIGHT MEASURED FROM GRADE, AS DEFINED PER DEFINITIONS 12.03, SEE BELOW.

GRADE (ADJACENT GROUND LEVEL). IS THE LOWEST POINT OF ELEVATION OF THE FINISHED SURFACE OF THE GROUND, PAVING OR SIDEWALK WITHIN THE AREA BETWEEN THE BUILDING AND THE PROPERTY LINE, OR WHEN THE PROPERTY LINE IS MORE THAN 5 FEET FROM THE BUILDING, BETWEEN THE BUILDING AND A LINE 5 FEET FROM THE BUILDING. THIS DEFINITION DOES NOT APPLY TO ANY BUILDING OR STRUCTURE LOCATED WITHIN THE BOUNDARIES OF THE CENTURY CITY NORTH OR CENTURY CITY SOUTH SPECIFIC PLANS AND WHICH IS SUBJECT TO SECTION 12.21.2 OF THIS CODE. (AMENDED BY ORD. NO. 160,657, EFF. 2/17/86, OPER. 6/17/86.)

EXTERIOR FINISH SCHEDULE:

TAG	MATERIAL	COLOR	MANF. / SUPPLIER
13	SLIM 12 DOWNLIGHT	BLACK	RAB LIGHTING OR EQ.
14	ALUMINUM REVERSE CHANNEL ADDRESS NUMBERS	BLACK	TBD
15	COMPOSITE PANEL WITH WOOD FINISH	TIMBER SERIES, TEAK	APOLIC OR EQUAL
16	CORRUGATED METAL EQUIPMENT SCREEN	GREY	ATAS INT. OR EQ.

EXTERIOR FINISH SCHEDULE:

TAG	MATERIAL	COLOR	MANF. / SUPPLIER
07	SMOOTH EXTERIOR PLASTER	TURQUOISE	LA HABRA OR EQUAL
08	SMOOTH EXTERIOR PLASTER	BLUE	LA HABRA OR EQUAL
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10	SMOOTH EXTERIOR PLASTER	RED	LA HABRA OR EQUAL
11	SMOOTH EXTERIOR PLASTER	MAGENTA	LA HABRA OR EQUAL
12	SMOOTH EXTERIOR PLASTER	BLACK	LA HABRA OR EQUAL

EXTERIOR FINISH SCHEDULE:

TAG	MATERIAL	COLOR	MANF. / SUPPLIER
01	SMOOTH EXTERIOR PLASTER	WHITE	LA HABRA OR EQUAL
02	SMOOTH EXTERIOR PLASTER	COAL MINER DET613	LA HABRA OR EQUAL
03	SMOOTH EXTERIOR PLASTER	DARK GREY CHARCOAL	LA HABRA OR EQUAL
04	SMOOTH EXTERIOR PLASTER	JADED CLOUDS DE5703	LA HABRA OR EQUAL
05	SMOOTH EXTERIOR PLASTER	YELLOW	LA HABRA OR EQUAL
06	SMOOTH EXTERIOR PLASTER	GREEN	LA HABRA OR EQUAL

PROJECT TEAM:

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LICENSED ARCHITECT
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PROJECT TITLE:
MACHREA
7 SMALL LOT SFR

PROJECT ADDRESS:
7665 MACHREA ST.
LOS ANGELES, CA 91042

NO.	ISSUED FOR:

JOB NO.:	20034
DRAWN BY:	A.T.
CHECKED BY:	A.T.
DATE:	07-13-23

SHEET DESCRIPTION:
ELEVATIONS

SHEET NUMBER:
A-202

WEST ELEVATION #1 (UNITS 4,5,6,7)

SCALE: 1/4"=1'-0" (1)

WEST ELEVATION #2 (UNITS 3,2,1)

SCALE: 1/4"=1'-0" (2)

NOTES:

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EXTERIOR FINISH SCHEDULE:

TAG	MATERIAL	COLOR	MANF. / SUPPLIER
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TAG	MATERIAL	COLOR	MANF. / SUPPLIER
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EXTERIOR FINISH SCHEDULE:

TAG	MATERIAL	COLOR	MANF. / SUPPLIER
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REN.12-31-2022
STATE OF CALIFORNIA

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CIVIL ENGINEER:
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GLENDALE, CA 91208
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PROJECT TITLE:
MACHREA
7 SMALL LOT SFR

PROJECT ADDRESS:
7665 MACHREA ST.
LOS ANGELES, CA 91042

NO.	ISSUED FOR:

JOB NO.:	20034
DRAWN BY:	A.T.
CHECKED BY:	A.T.
DATE:	07-13-23

SHEET DESCRIPTION:
ELEVATIONS

SHEET NUMBER:
A-203

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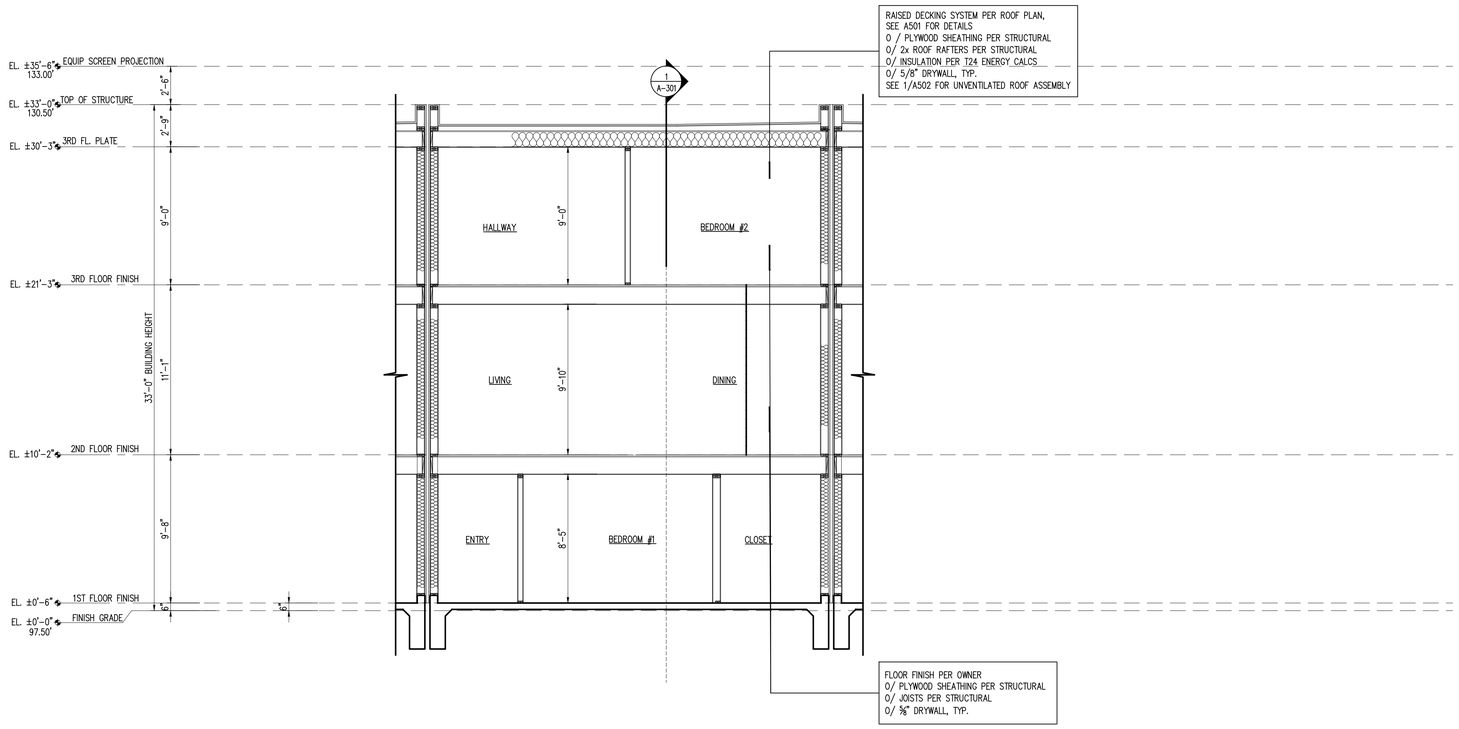
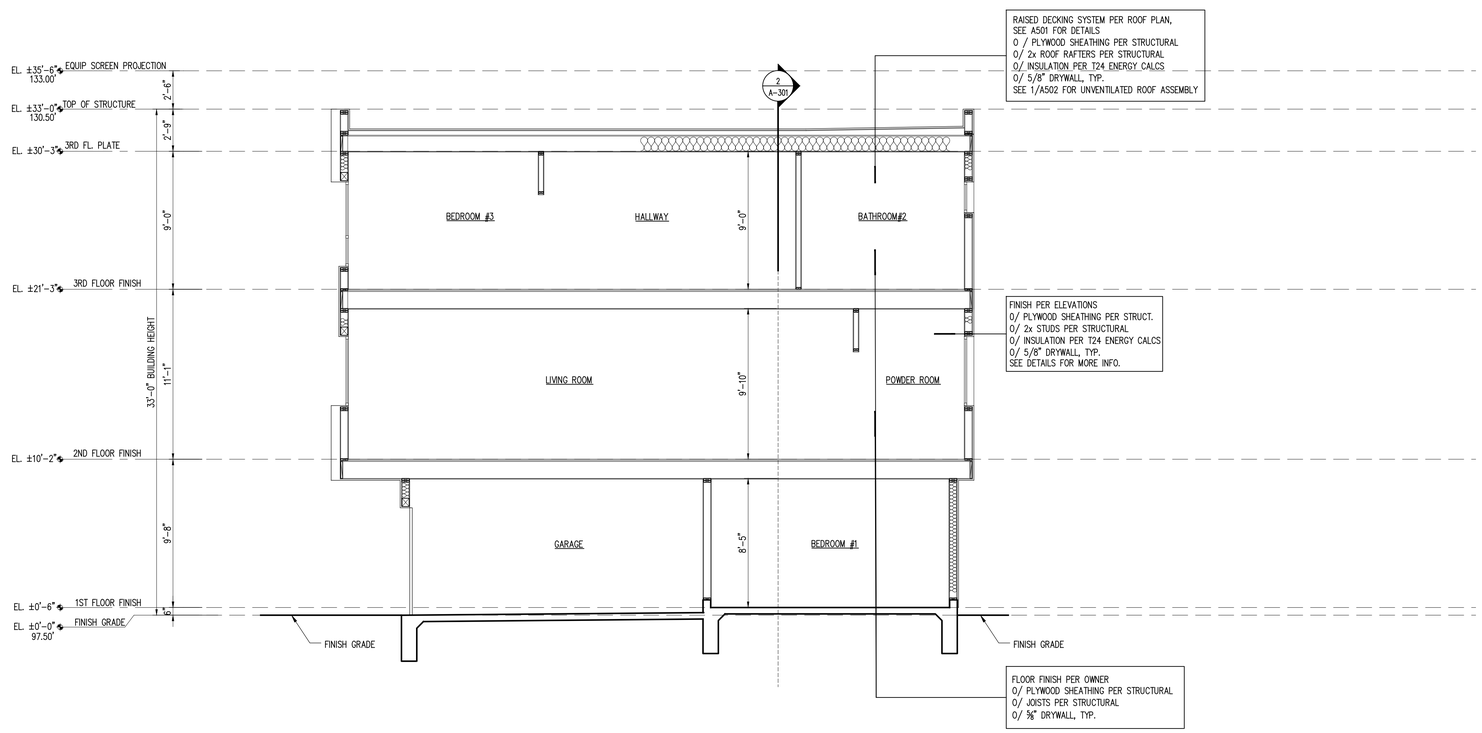


SECTION

SCALE: 1/4"=1'-0" (1)



SECTION

SCALE: 1/4"=1'-0" (2)

PROJECT TEAM:

ARMEN**ARC**
1812 W. BURBANK BLVD #148
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LICENSED ARCHITECT
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PROJECT TITLE:

MACHREA
7 SMALL LOT SFR

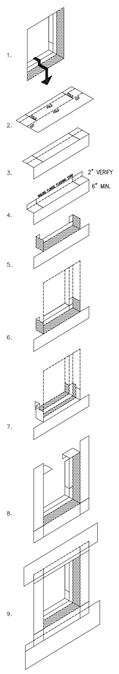
PROJECT ADDRESS:
7665 MACHREA ST.
LOS ANGELES, CA 91042

NO.	ISSUED FOR:

JOB NO.:	20034
DRAWN BY:	A.T.
CHECKED BY:	A.T.
DATE:	07-13-23

SHEET DESCRIPTION:
SECTIONS

SHEET NUMBER:
A-301



1- WOOD-FRAMED INSET WINDOW OPENING FOR NAIL-ONE WINDOW INSTALLATION

2, 3, 4, & 5: TYPICAL INSET WINDOW FLASHING CUT AND FOLD SEQUENCE (TYPICAL FOR ALL FOUR SIDES OF OPENING). 12" OR 18" SELF-ADHESIVE RUBBERIZED ASPHALTIC SHEET FLASHING (GRACE ICE & WATER SHIELD OR EQ.) DEPENDING ON SPECIFIC FRAMING REQUIREMENTS.

2- PRE-FIT PIECES OF WINDOW FLASHING SHEET TO EACH SIDE OF THE OPENING. PRE-CUT EACH FLASHING SHEET AS INDICATED AND PRE-CREASE FOLDS.

3, 4, 5. FOLD AS INDICATED TO FIT SNUG INTO OPENING.

6- INSTALL BOTTOM FLASHING ASSEMBLY INTO OPENING.

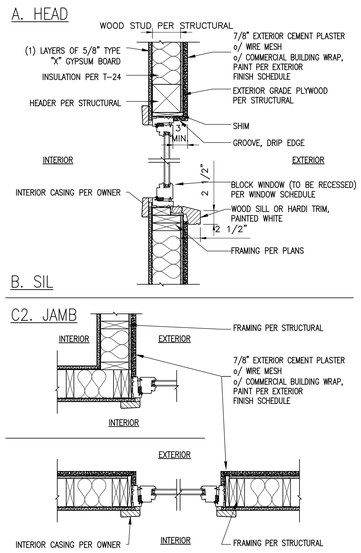
7- INSTALL FLEXIBLE SELF-ADHERING SHEET FLASHING CONTINUOUS INTO THE FULL DEPTH OF THE FRAMED WINDOW OPENING ALONG SILL AND UP THE JAMBS 6" MINIMUM.

8- INSTALL SIDE FLASHING ASSEMBLIES INTO OPENING. OVERLAP SIDE PIECES ON TOP OF BOTTOM VERTICAL PARTS. CAULK WATERTIGHT AT ALL CORNER INTERSECTIONS AND OVERLAPS WITH COMPATIBLE SEALANT. INSTALL NAIL-ON WINDOW BY PRESSING THE NAIL FLANGE ONTO A CONTINUOUS, FULL-CONTACT BED OF COMPATIBLE SEALANT EXTENDING AROUND THE BOTTOM AND SIDES OF THE OPENING, BUT NOT AT THE TOP. THE WINDOW CAN THEN BE TRUED AND NAILED INTO PLACE PER MFR. INSTRUCTIONS

9- INSTALL THE TOP FLASHING ASSEMBLY INTO OPENING. OVERLAP SIDE VERTICAL PARTS ON TOP OF THE SIDE ASSEMBLY VERTICAL PARTS. CAULK WATERTIGHT AT ALL CORNER INTERSECTIONS AND OVERLAPS WITH COMPATIBLE SEALANT. INSTALL THE NAILING FLANGE FLASHING STRIP OVER THE TOP OF THE NAILING FLANGE. PRESS THE BOTTOM EDGE OF THIS STRIP INTO A CONTINUOUS, FULL-CONTACT BED OF SEALANT ON THE FULL OUTSIDE FACE OF THE NAILING FLANGE. "SHINGLE" THE ENTIRE ASSEMBLY INTO THE BUILDING PAPER TO SHED WATER.

NOTE:
CALK AND SEAL ALL PUNCTURES WITH FLUID APPLIED FLASHING PER MANUFACTURE. WINDOW FLASHING ASSEMBLY MANUFACTURE TO MATCH HOUSE WATERPROOFING MANUFACTURE, DO NOT MIX AND MATCH DIFFERENT MANUFACTURES. REFER TO MANUFACTURE SPECIFICATION & DETAILS FOR MORE INFORMATION. IF ASSEMBLY CHANGES CONTRACTOR TO NOTIFY ARCHITECT.

RECESSED WINDOW FLASHING DETAIL | SCALE: N.T.S | 2



WINDOW FASTENING NOTE:
PERMITER OF THE WINDOW TO BE SECURED WITH 6d GALVANIZED OR CORROSION RESISTANT FASTENERS AT 12" O.C. (MAX.). HINGED OR PIVOTED WINDOWS REQUIRE ADDITIONAL FASTENERS LOCATED WITHIN 1" OF EACH SIDE OF, AND IN SAME PLANE AS THE HINGE OR PIVOT. SEAL ALL FASTENER HEADS DURING INSTALLATION WITH SEALANT. IN EACH DIRECTION FROM THE CORNER THERE MUST BE A FASTENER WITHIN 6 INCHES, BUT NO CLOSER THAN 3 INCHES, TO PREVENT FRAME DISTORTION OR FRACTURE OF JOINT SEAL.

WINDOW HEAD, SIL, JAMB @ STUCCO DETAILS | SCALE: 1"=1'-0" | 1

WINDOW SCHEDULE:

UNIT 1,2,3

SYM.	SIZE WIDTH	SIZE HEIGHT	GLASS	TYPE	MATERIAL	FRAME	SHGC	U Factor	-	-	REMARKS (SEE REMARK NOTES BELOW)
3E 3D 3A 2J 2E 2D 2A 1J 1E 1D 1A	4'-0"	4'-6"	DUAL	FIXED	FIBERGLASS	BLOCK	PER T24	PER T24	–	–	#1
3B 2B 1B	10"	7'-0"	DUAL	FIXED	FIBERGLASS	.	PERT T24	PER T24	–	–	
3C 2C 1C	5'-0"	5'-0"	DUAL	SLIDER	FIBERGLASS	.	PERT T24	PER T24	–	–	
3F 2F 1F	6'-0"	4'-6"	DUAL	SLIDER/FIX	FIBERGLASS	.	PERT T24	PER T24	–	–	
3G 3C 1G	6'-0"	7'-0"	DUAL	SLIDER/FIX	FIBERGLASS	.	PERT T24	PER T24	–	–	
3H 2H 1H	3'-4"	4'-0"	DUAL	FIXED	FIBERGLASS	.	PERT T24	PER T24	–	–	
3I 2I 1I	3'-0"	8'-0"	DUAL	FIXED	FIBERGLASS	.	PERT T24	PER T24	–	–	
1K	6'-0"	1'-6"	DUAL	FIXED	FIBERGLASS	.	PERT T24	PER T24	–	–	
2L 1L	6'-0"	5'-6"	DUAL	SLIDER/FIX	FIBERGLASS	.	PERT T24	PER T24	–	–	
3M 2M 1M	4'-6"	3'-5"	DUAL	SLIDER/FIX	FIBERGLASS	.	PERT T24	PER T24	–	–	
1P 1N	7'-0"	5'-6"	DUAL	SLIDER/FIX	FIBERGLASS	.	PERT T24	PER T24	–	–	
1O	2'-0"	3'-0"	DUAL	CASEMENT	FIBERGLASS	.	PERT T24	PER T24	–	–	
1Q	7'-0"	5'-6"	DUAL	SLIDER/FIX	FIBERGLASS	.	PERT T24	PER T24	–	–	
1R	6'-0"	1'-6"	DUAL	FIXED	FIBERGLASS	.	PERT T24	PER T24	–	–	
1S	10'-6"	6'-0"	DUAL	FIXED/CASEMENT	FIBERGLASS	.	PERT T24	PER T24	–	–	
2G	6'-0"	4'-6"	DUAL	SLIDER	FIBERGLASS	.	PERT T24	PER T24	–	–	
3K 2K	6'-0"	5'-6"	DUAL	FIXED/SLIDER	FIBERGLASS	.	PERT T24	PER T24	–	–	
3P 3S 3T	3'-0"	3'-6"	DUAL	SINGLE HUNG	FIBERGLASS	.	PERT T24	PER T24	–	–	
3U	6'-0"	4'-0"	DUAL	SLIDER	FIBERGLASS	.	PERT T24	PER T24	–	–	
3R	2'-6"	2'-6"	DUAL	CASEMENT	FIBERGLASS	.	PERT T24	PER T24	–	–	

UNIT 4,5,6,7

SYM.	SIZE WIDTH	SIZE HEIGHT	GLASS	TYPE	MATERIAL	FRAME	SHGC	U Factor	-	-	REMARKS (SEE REMARK NOTES BELOW)
6A 5A 4A	1'-9"	7'-0"	DUAL	FIXED	FIBERGLASS	.	PERT T24	PER T24	–	–	
7L 7F 7E 7B 6L 6F 6E 6B 5L 5F 5E 5B 4L 4F 4E 4B	4'-0"	4'-6"	DUAL	FIXED	FIBERGLASS	.	PER T24	PER T24	–	–	#1
4C	3'-0"	4'-0"	DUAL	CASEMENT	FIBERGLASS	.	PERT T24	PER T24	–	–	
4C2	3'-7"	4'-0"	DUAL	FIX	FIBERGLASS	.	PERT T24	PER T24	–	–	
7D 6D 5D 4D	2'-6"	2'-0"	DUAL	SLIDER	FIBERGLASS	.	PERT T24	PER T24	–	–	
7M 6M 5M 4M 7C 6G 5C 4G	3'-0"	3'-6"	DUAL	SINGLE HUNG	FIBERGLASS	.	PERT T24	PER T24	–	–	
7H 6H 5H 4H 4H	6'-0"	4'-6"	DUAL	SLIDER	FIBERGLASS	.	PERT T24	PER T24	–	–	
7I 6I 5I 4I	6'-0"	8'-0"	DUAL	FIX	FIBERGLASS	.	PERT T24	PER T24	–	–	
7J 6J 5J 4J	3'-4"	4'-0"	DUAL	FIXED	FIBERGLASS	.	PERT T24	PER T24	–	–	
6K 5K 4K	7'-0"	7'-0"	DUAL	SLIDER/FIX	FIBERGLASS	.	PERT T24	PER T24	–	–	
7N 6N 5N 4N	6'-0"	3'-6"	DUAL	SLIDER	FIBERGLASS	.	PERT T24	PER T24	–	–	
6O 5O 4O	7'-0"	5'-6"	DUAL	SLIDER/FIX	FIBERGLASS	.	PERT T24	PER T24	–	–	
4P	5'-1"/5'-6"	5'-6"	DUAL	FIXED/CASEMENT	FIBERGLASS	.	PERT T24	PER T24	–	–	
4Q	2'-6"	3'-6"	DUAL	CASEMENT	FIBERGLASS	.	PERT T24	PER T24	–	–	
4R	8'-0"	4'-6"	DUAL	FIXED/CASEMENT	FIBERGLASS	.	PERT T24	PER T24	–	–	
4S	3'-8"	3'-0"	DUAL	FIXED	FIBERGLASS	.	PERT T24	PER T24	–	–	
6C 5C	7'-1"	4'-0"	DUAL	SLIDER	FIBERGLASS	.	PERT T24	PER T24	–	–	
7P 5P	6'-0"	3'-6"	DUAL	SLIDER	FIBERGLASS	.	PERT T24	PER T24	–	–	
6P	6'-0"	5'-6"	DUAL	FIXED/SLIDER	FIBERGLASS	.	PERT T24	PER T24	–	–	
7A	10"	7'-0"	DUAL	FIXED	FIBERGLASS	.	PERT T24	PER T24	–	–	
7C	8'-0"	4'-0"	DUAL	FIX/CASEMENT	FIBERGLASS	.	PERT T24	PER T24	–	–	
7O	6'-3"	5'-6"	DUAL	SLIDER/FIX	FIBERGLASS	.	PERT T24	PER T24	–	–	
7O2	4'-1"/5'-7"	5'-6"	DUAL	SLIDER/FIX	FIBERGLASS	.	PERT T24	PER T24	–	–	
7K	6'-3"	7'-0"	DUAL	SLIDER/FIX	FIBERGLASS	.	PERT T24	PER T24	–	–	
7K2	4'-1"/5'-7"	7'-0"	DUAL	SLIDER/FIX	FIBERGLASS	.	PERT T24	PER T24	–	–	
7R 7Q	1'-6"	3'-6"	DUAL	CASEMENT	FIBERGLASS	.	PERT T24	PER T24	–	–	
7S	8'-0"	7'-0"	DUAL	SLIDER/FIX	FIBERGLASS	.	PERT T24	PER T24	–	–	
7U	5'-0"	3'-0"	DUAL	SLIDER/FIX	FIBERGLASS	.	PERT T24	PER T24	–	–	

DOOR SCHEDULE:

SYM.	SIZE WIDTH	SIZE HEIGHT	THICKNESS	TYPE	MATERIAL	FRAME	SHGC	U Factor	GLASS	FIRE RATING	(SEE REMARK NOTES BELOW)
7A 6A 5A 4A 3A 2A 1A	3'-0"	7'-0"	1-3/4"	SWING	WOOD	WOOD	–	–	–	N/A	EXTERIOR
7B 6B 5B 4B 3B 2B 1B	2'-8"	7'-0"	1-3/4"	SWING	WOOD		–	–	–	N/A	INTERIOR, SEE NOTE #2, 1 HR RATED
3C 2C 1C	16'-0"	8'-0"	1-3/4"	ROLL UP	ALUMINUM	ALUMINUM	–	–	–	N/A	–
3D 2D 1D	3'-6"	7'-0"	1-3/4"	BI-FOLD	WOOD		–	–	–	N/A	INTERIOR
7D 6D 5D 4D	3'-0"	7'-0"	1-3/4"	SWING	WOOD		–	–	–	N/A	INTERIOR, SEE NOTE #2
4O 4N 4M 4L 4K 4J 4I 1K 1J 1I 1H 1G 7G 6G 5G 4G 3E 2E 1E 7F 7E 6F 6E 5F 5E 4F 4E	2'-8"	7'-0"	1-3/4"	SWING	WOOD		–	–	–	N/A	INTERIOR, SEE NOTE #2
5O 5N 5M 5L 5K 5J 5I 2K 2J 2I 2H 2G 7H 6H 5H 4H 3F 2F 1F 6O 6N 6M 6L 6K 6J 6I 3K 3J 3I 3H 3G 7O 7N 7M 7L 7K 7J 7I	3'-0"	8'-0"	1-3/4"	SWING	ALUMINUM	ALUMINUM	–	–	–	N/A	W/ 4'-2" FIXED WINDOW EACH SIDE

SCHEDULE NOTES:

1. EMERGENCY ESCAPE / EXIT WINDOW MUST MEET FLOWING REQUIREMENTS:
   - 20" MIN. CLEAR WIDTH
   - 24" MIN CLEAR HEIGHT
   - 5.7 S.F. MIN. OPENABLE AREA
2. THE FOLLOWING LOCATIONS SHALL BE SAFETY GLAZING CONFORMING TO THE HUMAN IMPACT LOADS OF SECTION R308.3 (CRC R308.4):
   - FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BI-FOLDING DOOR ASSEMBLIES.
   - GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24-INCHES ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE.
   - GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
     - EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET.
     - BOTTOM EDGE LESS THAN 18 INCHES ABOVE FLOOR.
     - TOP EDGE GREATER THAN 36 INCHES ABOVE FLOOR.
     - ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE GLAZING.
   - GLAZING IN RAILINGS.
   - GLAZING IN ENCLOSURES FOR OR WALLS FACING HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS WHERE THE BOTTOM EDGE OF GLAZING IS LESS THAN 60" MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.
   - GLAZING IN WALLS AND FENCES ADJACENT TO INDOOR AND OUTDOOR SWIMMING POOLS, HOT TUBS AND SPAS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A WALKING SURFACE AND WITHIN 60 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE WATER'S EDGE.
   - GLAZING WHERE THE BOTTOM EXPOSED EDGE IF THE GLAZING IS LESS THAN 36 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE OF STAIRWAYS, LANDINGS BETWEEN FLIGHTS OF STAIRS OR RAMPS.
   - GLAZING ADJACENT TO THE LANDING AT THE BOTTOM OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 36 INCHES ABOVE THE LANDING AND WITHIN 60 INCHES HORIZONTALLY OF THE BOTTOM TREAD.
3. THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS AND SKYLIGHTS (INCL. TUBULAR) MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BEEN COMPLETED.
4. ALL WINDOWS AND GLAZED DOORS SHALL BE DUAL GLAZED INSULATED-GLASS UNITS WITH A MINUMUM OF ONE TEMPERED PANE.
5. GARAGE DOORS TO BE TESTED IN ACCORDANCE TO WITH EITHER ASTM E 330 OR ANSI/DASMA 108, AND SHALL MEET THE ACCEPTANCE CRITERIA OF ANSI/DASMA 108.
6. THE SIZES GIVEN ARE FOR FINISH OPENINGS.
7. MANUFACTURE SHALL VISIT SITE AND FIELD VERIFY ALL ROUGH OPENING SIZES PRIOR TO SUBMITTING ORDER. SUBMIT FOR ARCHITECTS REVIEW.
8. ~~FIRE HAZARD SEVERITY ZONE REQUIREMENT (SMC 9-1-1-701A.1.1) EXTERIOR WINDOWS, WINDOW WALLS AND GLAZED DOORS, WINDOWS WITHIN EXTERIOR DOORS, AND SKYLIGHTS SHALL BE TEMPERED GLASS, MULTI LAYERED GLASS PANELS, GLASS BLOCK, OR HAVE A FIRE PROTECTION RATING OF NOT LESS THAN 20 MINUTES.~~

PROJECT TEAM:

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LICENSED ARCHITECT
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PROJECT TITLE:
MACHREA
7 SMALL LOT SFR

PROJECT ADDRESS:
7665 MACHREA ST.
LOS ANGELES, CA 91042

NO.	ISSUED FOR:

JOB NO.:	20034
DRAWN BY:	A.T.
CHECKED BY:	A.T.
DATE:	07-13-23

SHEET DESCRIPTION:
SCHEDULES & DETAILS

SHEET NUMBER:
A-601