



APPLICATIONS:

DEPARTMENT OF CITY PLANNING APPLICATION

THIS BOX FOR CITY PLANNING STAFF USE ONLY

Case Number _____

Env. Case Number _____

Application Type _____

Case Filed With (Print Name) _____ Date Filed _____

Application includes letter requesting:

Waived hearing Concurrent hearing Hearing not be scheduled on a specific date (e.g. vacation hold)

Related Case Number _____

*Provide all information requested. Missing, incomplete or inconsistent information will cause delays.
 All terms in this document are applicable to the singular as well as the plural forms of such terms.
 Detailed filing instructions are found on form CP-7810*

1. PROJECT LOCATION

Street Address¹ 7577 W. Foothill Blvd Los Angeles CA 91042 Unit/Space Number _____

Legal Description² (Lot, Block, Tract) Tract 3686 M B 49-50

Assessor Parcel Number 2558-032-004, -008-018, & -021 Total Lot Area 39,934 sf

2. PROJECT DESCRIPTION

Present Use Vacant lot; prior use was a Denny's Restaurant

Proposed Use 46-unit multi-family residential building

Project Name (if applicable) 7577 Foothill

Describe in detail the characteristics, scope and/or operation of the proposed project 46 multi family units, including 5 Very-Low Income affordable units (10%), with 93 on-site parking spaces.

Additional information attached YES NO

Complete and check all that apply:

Existing Site Conditions

- Site is undeveloped or unimproved (i.e. vacant)
- Site has existing buildings (provide copies of building permits)
- Site is/was developed with use that could release hazardous materials on soil and/or groundwater (e.g. dry cleaning, gas station, auto repair, industrial)
- Site is located within 500 feet of a freeway or railroad
- Site is located within 500 feet of a sensitive use (e.g. school, park)
- Site has special designation (e.g. National Historic Register, Survey LA)

¹ Street Addresses must include all addresses on the subject/application site (as identified in ZIMAS—<http://zimas.lacity.org>)
² Legal Description must include all contiguously owned properties (even if they are not a part of the proposed project site)

Proposed Project Information

(Check all that apply or could apply)

- Demolition of existing buildings/structures
- Relocation of existing buildings/structures
- Interior tenant improvement
- Additions to existing buildings
- Grading
- Removal of any on-site tree
- Removal of any street tree

- Removal of protected trees on site or in the public right of way
- New construction: 58,585 square feet
- Accessory use (fence, sign, wireless, carport, etc.)
- Exterior renovation or alteration
- Change of use and/or hours of operation
- Haul Route
- Uses or structures in public right-of-way
- Phased project

Housing Component Information

Number of Residential Units: Existing 0 – Demolish(ed)³ 0 + Adding 46 = Total 46
 Number of Affordable Units⁴ Existing 0 – Demolish(ed) 0 + Adding 5 = Total 5
 Number of Market Rate Units Existing 0 – Demolish(ed) 0 + Adding 41 = Total 41
 Mixed Use Projects, Amount of Non-Residential Floor Area: 0 square feet

Public Right-of-Way Information

Have you submitted the Planning Case Referral Form to BOE? (required) YES NO

Is your project required to dedicate land to the public right-of-way? YES NO

If so, what is/are your dedication requirement(s)? 5 ft.

If you have dedication requirements on multiple streets, please indicate: Foothill Blvd.

3. ACTION(S) REQUESTED

Provide the Los Angeles Municipal Code (LAMC) Section that authorizes the request and (if applicable) the LAMC Section or the Specific Plan/Overlay Section from which relief is sought; follow with a description of the requested action.

Does the project include Multiple Approval Requests per LAMC 12.36? YES NO

Authorizing Code Section 11.5.7 C

Code Section from which relief is requested (if any): N/A

Action Requested, Narrative: Project Permit Compliance with the Foothill Blvd. Corridor Specific Plan

Authorizing Code Section 12.22 A-25

Code Section from which relief is requested (if any): Foothill Blvd. Corridor Specific Plan

Action Requested, Narrative: Density Bonus with two (2) off-menu incentives to allow residential uses on the property and to reduce the required front setback along Foothill Blvd. from 15 feet to 10 feet.

Additional Requests Attached YES NO

³ Number of units to be demolished and/or which have been demolished within the last five (5) years.

⁴ As determined by the Housing and Community Investment Department

4. RELATED DEPARTMENT OF CITY PLANNING CASES

Are there previous or pending cases/decisions/environmental clearances on the project site? YES NO

If YES, list all case number(s) _____

If the application/project is directly related to one of the above cases, list the pertinent case numbers below and complete/check all that apply (provide copy).

Case No. _____ Ordinance No.: _____

- Condition compliance review
- Clarification of Q (Qualified) classification
- Modification of conditions
- Clarification of D (Development Limitations) classification
- Revision of approved plans
- Amendment to T (Tentative) classification
- Renewal of entitlement
- Plan Approval subsequent to Master Conditional Use

For purposes of environmental (CEQA) analysis, is there intent to develop a larger project? YES NO

Have you filed, or is there intent to file, a Subdivision with this project? YES NO

If YES, to either of the above, describe the other parts of the projects or the larger project below, whether or not currently filed with the City:

5. RELATED DOCUMENTS / REFERRALS

To help assigned staff coordinate with other Departments that may have a role in the proposed project, please provide a copy of any applicable form and reference number if known.

- a. Specialized Requirement Form Included
- b. Geographic Project Planning Referral Included
- c. Citywide Design Guidelines Compliance Review Form Included
- d. Affordable Housing Referral Form Included
- e. Mello Form N/A
- f. Unpermitted Dwelling Unit (UDU) Inter-Agency Referral Form N/A
- g. HPOZ Authorization Form N/A
- h. Management Team Authorization N/A
- i. Expedite Fee Agreement N/A
- j. Department of Transportation (DOT) Referral Form Included
- k. Preliminary Zoning Assessment Referral Form Included
- l. SB330 Preliminary Application Included
- m. Bureau of Engineering (BOE) Planning Case Referral Form (PCRF) Included
- n. Order to Comply N/A
- o. Building Permits and Certificates of Occupancy Included
- p. Hillside Referral Form (BOE) N/A
- q. Low Impact Development (LID) Referral Form (Storm water Mitigation) Included
- r. SB330 Determination Letter from Housing and Community Investment Department Included
- s. Are there any recorded Covenants, affidavits or easements on this property? YES (provide copy) NO

PROJECT TEAM INFORMATION (Complete all applicable fields)

Applicant⁵ name 7577 Foothill LLC

Company/Firm 7577 Foothill LLC

Address: 2441 Risa Drive **Unit/Space Number** _____

City Glendale **State** CA **Zip Code:** 91208

Telephone (818) 281-0625 **E-mail:** ekhalatian@mayerbrown.com

Are you in escrow to purchase the subject property? YES NO

Property Owner of Record Same as applicant Different from applicant

Name (if different from applicant) _____

Address _____ **Unit/Space Number** _____

City _____ **State** _____ **Zip Code:** _____

Telephone _____ **E-mail:** _____

Agent/Representative name Edgar Khalatian

Company/Firm Mayer Brown LLP

Address: 350 S. Grand Ave. **Unit/Space Number** 25th Floor

City Los Angeles **State** CA **Zip:** 90071

Telephone (213) 229-9548 **E-mail:** ekhalatian@mayerbrown.com

Other (Specify Architect, Engineer, CEQA Consultant etc.) _____

Name _____

Company/Firm _____

Address: _____ **Unit/Space Number** _____

City _____ **State** _____ **Zip Code:** _____

Telephone _____ **E-mail:** _____

Primary Contact for Project Information Owner Applicant
(select only one) Agent/Representative Other

To ensure notification of any public hearing as well as decisions on the project, make sure to include an individual mailing label for each member of the project team in both the Property Owners List, and the Abutting Property Owners List.

⁵ An applicant is a person with a lasting interest in the completed project such as the property owner or a lessee/user of a project. An applicant is not someone filing the case on behalf of a client (i.e. usually not the agent/representative).

PROPERTY OWNER

7. **PROPERTY OWNER AFFIDAVIT.** Before the application can be accepted, the owner of each property involved must provide a notarized signature to verify the application is being filed with their knowledge. Staff will confirm ownership based on the records of the City Engineer or County Assessor. In the case of partnerships, corporations, LLCs or trusts the agent for service of process or an officer of the ownership entity so authorized may sign as stipulated below.

- **Ownership Disclosure.** If the property is owned by a partnership, corporation, LLC or trust, a disclosure identifying the agent for service or process or an officer of the ownership entity must be submitted. The disclosure must list the names and addresses of the principal owners (25% interest or greater). The signatory must appear in this list of names. A letter of authorization, as described below, may be submitted provided the signatory of the letter is included in the Ownership Disclosure. Include a copy of the current partnership agreement, corporate articles, or trust document as applicable.
- **Letter of Authorization (LOA).** A LOA from a property owner granting someone else permission to sign the application form may be provided if the property is owned by a partnership, corporation, LLC or trust or in rare circumstances when an individual property owner is unable to sign the application form. To be considered for acceptance, the LOA must indicate the name of the person being authorized the file, their relationship to the owner or project, the site address, a general description of the type of application being filed and must also include the language in items A-D below. In the case of partnerships, corporations, LLCs or trusts the LOA must be signed and notarized by the authorized signatory as shown on the Ownership Disclosure or in the case of private ownership by the property owner. Proof of Ownership for the signatory of the LOA must be submitted with said letter.
- **Grant Deed.** Provide a Copy of the Grant Deed If the ownership of the property does not match City Records and/or if the application is for a Coastal Development Permit. The Deed must correspond exactly with the ownership listed on the application.
- **Multiple Owners.** If the property is owned by more than one individual (e.g. John and Jane Doe or Mary Smith and Mark Jones) notarized signatures are required of all owners.

- a. I hereby certify that I am the owner of record of the herein previously described property located in the City of Los Angeles which is involved in this application or have been empowered to sign as the owner on behalf of a partnership, corporation, LLC or trust as evidenced by the documents attached hereto.
- b. I hereby consent to the filing of this application on my property for processing by the Department of City Planning.
- c. I understand if the application is approved, as a part of the process the City will apply conditions of approval which may be my responsibility to satisfy including, but not limited to, recording the decision and all conditions in the County Deed Records for the property.
- d. By my signature below, I declare under penalty of perjury under the laws of the State of California that the foregoing statements are true and correct.

*Property Owner's signatures must be signed/notarized in the presence of a Notary Public.
The City requires an original signature from the property owner with the "wet" notary stamp.
A Notary Acknowledgement is available for your convenience on following page.*

Signature 

Date 11-5-2020

Print Name VAROUJAN KEDSSELIAN

Signature _____

Date _____

Print Name _____

Space Below For Notary's Use

Civil Code ' 1189

California All-Purpose Acknowledgement

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document, to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of Los Angeles

On November 5, 2020 before me, Janet Vartanian (Notary Public)
(Insert Name of Notary Public and Title)

personally appeared Varoujan Keosjian, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf on which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

[Signature]
Signature

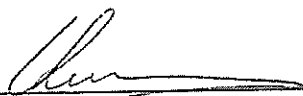
(Seal)



APPLICANT

8. **APPLICANT DECLARATION.** A separate signature from the applicant, whether they are the property owner or not, attesting to the following, is required before the application can be accepted.
- a. I hereby certify that the information provided in this application, including plans and other attachments, is accurate and correct to the best of my knowledge. Furthermore, should the stated information be found false or insufficient to fulfill the requirements of the Department of City Planning, I agree to revise the information as appropriate.
 - b. I hereby certify that I have fully informed the City of the nature of the project for purposes of the California Environmental Quality Act (CEQA) and have not submitted this application with the intention of segmenting a larger project in violation of CEQA. I understand that should the City determine that the project is part of a larger project for purposes of CEQA, the City may revoke any approvals and/or stay any subsequent entitlements or permits (including certificates of occupancy) until a full and complete CEQA analysis is reviewed and appropriate CEQA clearance is adopted or certified.
 - c. I understand that the environmental review associated with this application is preliminary, and that after further evaluation, additional reports, studies, applications and/or fees may be required. .
 - d. I understand and agree that any report, study, map or other information submitted to the City in furtherance of this application will be treated by the City as public records which may be reviewed by any person and if requested, that a copy will be provided by the City to any person upon the payment of its direct costs of duplication.
 - e. I understand that the burden of proof to substantiate the request is the responsibility of the applicant. Additionally, I understand that planning staff are not permitted to assist the applicant or opponents of the project in preparing arguments for or against a request.
 - f. I understand that there is no guarantee, expressed or implied, that any permit or application will be granted. I understand that each matter must be carefully evaluated and that the resulting recommendation or decision may be contrary to a position taken or implied in any preliminary discussions.
 - g. I understand that if this application is denied, there is no refund of fees paid.
 - i. I understand and agree to defend, indemnify, and hold harmless, the City, its officers, agents, employees, and volunteers (collectively "City"), from any and all legal actions, claims, or proceedings (including administrative or alternative dispute resolution (collectively "actions"), arising out of any City process or approval prompted by this Action, either in whole or in part. Such actions include but are not limited to: actions to attack, set aside, void, or otherwise modify, an entitlement approval, environmental review, or subsequent permit decision; actions for personal or property damage; actions based on an allegation of an unlawful pattern and practice; inverse condemnation actions; and civil rights or an action based on the protected status of the petitioner or claimant under state or federal law (e.g. ADA or Unruh Act). I understand and agree to reimburse the City for any and all costs incurred in defense of such actions. This includes, but it not limited to, the payment of all court costs and attorneys' fees, all judgments or awards, damages, and settlement costs. The indemnity language in this paragraph is intended to be interpreted to the broadest extent permitted by law and shall be in addition to any other indemnification language agreed to by the applicant.
 - i. By my signature below, I declare under penalty of perjury, under the laws of the State of California, that all statements contained in this application and any accompanying documents are true and correct, with full knowledge that all statements made in this application are subject to investigation and that any false or dishonest answer to any question may be grounds for denial or subsequent revocation of license or permit.

The City requires an original signature from the applicant. The applicant's signature below does not need to be notarized.

Signature: 

Date: 11-5-2020

Print Name: VARDJAN KEOSSEIAN

OPTIONAL
NEIGHBORHOOD CONTACT SHEET

9. **SIGNATURES** of adjoining or neighboring property owners in support of the request are not required but are helpful, especially for projects in single-family residential areas. Signatures may be provided below (attach additional sheets if necessary).

NAME (PRINT)	SIGNATURE	ADDRESS	KEY # ON MAP

REVIEW of the project by the applicable Neighborhood Council is not required, but is helpful. If applicable, describe, below or separately, any contact you have had with the Neighborhood Council or other community groups, business associations and/or officials in the area surrounding the project site (attach additional sheets if necessary).

Attachment “A”
Project Description & Proposed Findings
7577 Foothill Boulevard

I. INTRODUCTION

A. Applicant and Property

7577 Foothill LLC (the “**Applicant**”) is proposing the construction of a residential project on an approximately 39,934 square feet site located at 7577 Foothill Boulevard (the “**Project Site**”) in the City of Los Angeles (“**City**”). The Property consists of fifteen (15) contiguous lots generally by existing multi-family residential developments to the north, Foothill Boulevard and Day Street (East Leg) to the south, Wilsey Avenue to the east, and Plainview Avenue to the west.

The Project Site is located within the Sunland-Tujunga-Lake View Terrace-Shadow Hills-East La Tuna Canyon Community Plan area of the City. Additionally, the Project Site is located within the Foothill Boulevard Corridor Specific Plan (the “**Specific Plan**”).

Table 1, below, identifies the assessor’s parcel number and corresponding physical address for each of the 15 lots, as well as the General Plan land use designation and the zoning designation.

Table 1				
	APN	Address (per ZIMAS)	General Plan Land Use Designation	Zoning Designation
1.	2558-032-004	None	Low Medium II Residential	RD2-1
2.	2558-032-005	10217 N Wilsey Ave	Low Medium II Residential	RD2-1
3.	2558-032-006	10213 N Wilsey Ave	Low Medium II Residential	RD2-1
4.	2558-032-008	10230 N Plainview Ave	General Commercial	C2-1
5.	2558-032-009	10226 N Plainview Ave	General Commercial	C2-1
6.	2558-032-010	10224 N Plainview Ave	General Commercial	C2-1
7.	2558-032-011	10222 N Plainview Ave	General Commercial	C2-1
8.	2558-032-012	None	General Commercial	C2-1
9.	2558-032-013	None	General Commercial	C2-1
10.	2558-032-014	7583 W Foothill Blvd	General Commercial	C2-1
11.	2558-032-015	7581 W Foothill Blvd	Limited Commercial	CR-1VL
12.	2558-032-016	7573 W Foothill Blvd	Limited Commercial	CR-1VL
13.	2558-032-017	7569 W Foothill Blvd	Limited Commercial	CR-1VL
14.	2558-032-018	None	Limited Commercial	CR-1VL
15.	2558032021	10211 N Wilsey Ave	Low Medium II Residential	RD2-1

B. Project Summary

The Project consists of the development of 46 residential apartment dwelling units, of which 10 percent will set aside via a recorded covenant for Very-Low Income Households. The Project includes 92 vehicular parking spaces, with 88 parking spaces provided within an on-site parking garage and four parking spaces provided within an on-site surface parking area. The Project also includes up to 61 bicycle parking spaces, including, 49 long-term and 12 short-term bicycle parking spaces. The Project includes approximately 8,512 square feet of open space including an outdoor plaza on the ground floor.

II. EXISTING CONDITIONS AND SURROUNDING USES

A. Existing Uses

The Project Site is currently a vacant surface parking lot. The immediate prior use was a Denny's Restaurant. The Project Site is accessible by two existing driveways located on Foothill Boulevard and one existing driveway on Plainview Avenue.

B. Location and Adjacent Land Uses

The Project Site is located within the City's Tujunga community. Across Plainview Avenue, to the northeast of the Project Site, is a liquor store and associated surface parking lot. A fast-food restaurant, Tommy's Hamburgers, is located northwest of the Project Site. A residential neighborhood with multi-family and single-family uses is located adjacent to the Project Site, to the north and the east. Across Wilsey Avenue, to the south of the Project Site, is a commercial use, Slater Realty & Property Management. West of the Project Site, across Foothill Boulevard, are a variety of commercial uses and a multi-family use.

C. Public Transit

The Property is served by many local and regional/commuter public transit lines via stops located within convenient walking distance along Foothill Boulevard. Public transit service in the Project Site area is currently provided by the Los Angeles County Metropolitan Transit Authority (Metro) and LADOT. The transit lines include Metro Local Lines 90 and 222 and Commuter Express 409.

D. Access & Circulation

Immediate access to the Property is provided via Plainview Avenue and Wilsey Avenue. A brief description of the roadways in the Project vicinity is provided in the following paragraphs.

- *Plainview Avenue* is a north-south oriented roadway that borders the Property to the west. Plainview Avenue is designated as a Collector Street by the City. One through travel lane is provided in each direction on Plainview Avenue.
- *Wilsey Avenue* is a north-south oriented roadway that borders the Property to the east. Wilsey Avenue is designated as a Local Street – Standard by the City. One through travel lane is provided in each direction on Wilsey Avenue.

- *Foothill Boulevard* is an east-west oriented roadway that borders the Property to the south. Foothill Boulevard is designated as an Avenue I by the City. Two through travel lanes are provided in each direction on Foothill Boulevard.
- *Apperson Street* is an east-west oriented roadway located north of the Property. West of Foothill Boulevard, Apperson Street is designated as a Collector Street by the City. East of Foothill Boulevard, Apperson Street is designated as an Avenue II by the City. One through travel lane is provided in each direction on Apperson Street.
- *Day Street* is an east-west oriented roadway that borders the Property to the south. Day Street is designated as a Local Street – Standard by the City. One through travel lane is provided in each direction on Day Street.

III. Land Use and Zoning

A. Community Plan

The Project Site is located within the Sunland-Tujunga-Lake View Terrace-Shadow Hills-East La Tuna Canyon Community Plan area of the City. As identified in Table 1, above, the Project Site has multiple land use designations. Four (4) of the lots are designated Low Medium II Residential, Seven (7) of the lots are designated General Commercial, and four (4) of the lots are designated Limited Commercial.

✕ The Applicant is not requested to amend any of the existing land use designations because all of the existing land use designations permit the construction and operation of the Project.

B. Zoning

As identified in Table 1, above, the Project Site has multiple zoning designations. Four (4) of the lots are zoned RD2-1, Seven (7) of the lots are zoned C2-1, and four (4) of the lots are zoned CR-1VL.

✕ The Applicant is not requested to amend any of the existing zoning designations because all of the existing zoning designations permit the construction and operation of the Project.

C. Foothill Corridor Specific Plan

The Project Site is located within the Specific Plan, which became effective on October 27, 1995, 26 years ago. The Specific Plan prohibits new residential construction in commercial zones that are not identified on the Target Areas Map. Since the Project Site is not identified in the Target Areas Map, residential construction is prohibited on seven (7) of the 15 lots. Therefore, the Applicant is requesting to amend the Target Areas Map to include the Property. Otherwise, the Project is consistent with the Specific Plan.

IV. Related Cases

There are no previous related actions on the Project Site.

V. Project Analysis

A. Project Programming

The Project proposes the construction of a three-story residential building comprised of 46 multi-family residential units, including at least 10 percent (or 5 dwelling units), set aside as Very-Low Income Households. The Project would consist of three stories of residential uses above a basement parking level. Up to 92 vehicle parking spaces would be provided, including 88 parking spaces in the basement parking level and 4 parking spaces in a rear outdoor parking area. Parking is entirely interior and screened from exterior view. The Project's use of different textures, colors, setbacks, materials, and distinctive architectural treatments is designed to create visual interest, avoid repetitive facades, and break up the building's mass.

The Project would also provide up to 61 bicycle parking spaces, including, 49 long-term and 12 short-term bicycle parking spaces.

The Project would provide approximately 8,512 square feet of open space including an outdoor plaza on the ground floor and approximately 46 private balconies. The Project proposes to reach a height of approximately 42 feet, plus rooftop appurtenances. The total floor area of the Project would be approximately 67,822 gross square feet, resulting in a Floor Area Ratio (FAR) of 1.6970:1.

Table 2, below, provides a Project summary.

Table 2	
Land Use	Amount
<i>Residential Units (du)</i>	
One-bedroom	13
Two-Bedroom	17
Three-Bedroom	16
Total Units (du)	46
<i>Parking Spaces</i>	
Basement Parking Level	88
Rear Outdoor Parking	XX
Total Automobile Parking Spaces	92
Long-Term Basement (Bicycle)	49
Short-Term Basement (Bicycle)	12
Total Bicycle Parking Spaces	61
<i>Open Space (sf)</i>	
<i>Common Open Space</i>	
Ground Floor Common Space	1,687
Lobby Open Area	1,563
Private Balcony	300
Roof Top Common Space	4,962

Table 2	
Land Use	Amount
Total Common Open Space (sf)	8,512
<i>Landscaped Area</i>	
North/Left Side	606
West/Front	2,489
South/Left	779
East/Right	2,470
Total Landscaped Area (sf)	6,344
Total Open Space (sf)	15,830
<i>du = dwelling units; sf = square feet</i>	
<i>Source: VJ & Associates, October 2020.</i>	

Pedestrian access to the Project Site will be provided via Plainview Avenue, Foothill Boulevard, and Day Street (East Leg). Specifically, the Project includes a walkway connecting the residential building to the sidewalk along the Property's Day Street (East Leg) frontage and a pedestrian entrance along the Property's Plainview Avenue frontage. Additionally, the Project includes a pedestrian entrance along the Project Site's Foothill Boulevard frontage (i.e., at the corner of Plainview Avenue and Foothill Boulevard). It is noted that sidewalks are also provided along Foothill Boulevard, Plainview Avenue, and Wilsey Avenue. Separate pedestrian entrances would provide access from nearby public transit stops, as well as other amenities along major corridors.

* Vehicular access to the basement parking level would be provided via a two-way driveway located off of Plainview Avenue.

B. Proposed Land Use and Zoning

The Project does not proposed to amend the Property's General Plan land use designation or the zoning designation since both permit the Project's construction and operation. The Project is proposing to amend the Foothill Corridor Specific Plan Map 3, Target Areas, to include the Property as being located within a Target Area.

C. Recreation, Open Space and Landscaping

Per Specific Plan, a minimum of 100 square feet of usable open space shall be provided for each dwelling unit and each common space area shall be a minimum of 400 square feet. Therefore, a total of 4,600 square feet of open space is required for this Project. As shown in Table 2, the Project would provide 8,512 square feet of open space, and the provided common areas on the ground floor and the roof level would be over the required minimum 400 square feet. In addition, in conformance with LAMC Section 12.21.G, 25 percent of the provided outdoor common open space would be landscaped, or a minimum of 2,128 square feet. The Project would provide 6,344 square feet of landscaped area.

The Project's open space and amenities would include a first-floor open-to-sky common area, a first floor courtyard common area with a fountain, landscaping, and seating, and a rooftop open deck area with landscaping and seating. The dwelling units would include private balconies.

The Project's landscape plan proposes street trees along Foothill Boulevard and to retain the existing three street trees along Plainview Avenue. The Project proposes to remove the one native protected oak tree and 11 ornamental trees located throughout the Project Site, and would plant at least 15 trees on-site as part of the landscape plan.

D. Bicycle Network

Bicycle access to the Property is facilitated by the City's bicycle roadway network. Existing bicycle facilities (e.g., Class I Bicycle Path, Class II Bicycle Lanes, Class III Bicycle Routes, Bicycle Friendly Streets, etc.) identified in the City's 2010 Bicycle Plan are located within the Property's immediate vicinity. Within the immediate vicinity, Foothill Boulevard has been designated as an LADOT Existing Bicycle Lane and as a Bicycle Lane Network.

E. Vehicular and Bicycle Parking

i. *Vehicular Parking*

Section 7.B.4 of the Specific Plan requires the following vehicular parking standards:

- A minimum of two parking spaces for each dwelling unit, which would total 92 spaces;
- Guest parking shall be provided at a ratio of ½ space for each dwelling unit, which would require 23 spaces.



However, since the Project qualifies as a Density Bonus project, the Applicant will provide parking consistent with Parking Option 1, which requires one (1) vehicular parking space for each one-bedroom unit and two (2) parking spaces for each two and three bedroom unit (see Table 3, below).

Table 3 – Density Bonus Parking Option 1			
	# of Units	Spaces Required Per Unit	Parking Required
0-1 Bedrooms	13	1	13
2-3 Bedrooms	33	2	66
4 or more Bedrooms	0	2.5	0
Total	46	N/A	79

Therefore, the Project is required to provide 79 vehicular parking spaces. As shown on Table II, the parking would provide 92 on-site vehicular parking spaces.

ii. Bicycle Parking

Proposed bicycle access to the Property will be provided via Foothill Boulevard and Plainview Avenue. The Project will provide bicycle parking on-site for residents of the Project. Bicycle parking spaces will be installed in compliance with the LAMC.

F. Sustainability

The Project would be compliant with the Los Angeles Green Building Code and the California Energy Code/Title 24 requirements, and would include, but not be limited to, the following features:

- Energy efficient elevator;
- Low-flow faucets, shower heads, and toilets;
- Energy efficient mechanical systems;
- Energy efficient glazing and window frames; and
- Energy efficient lighting.

As also required by the City Building Code, the Project would provide space to accommodate future rooftop solar panels and conduit for on-site electric automobile charging stalls, which would be provided in the parking garage.

G. Citywide Design Guidelines

The Citywide Design Guidelines are intended as performance goals that establish a baseline for urban design themes and best practices for residential and commercial projects. The design guidelines focus on three main design approaches: Pedestrian-First Design, 360 Degree Design, and Climate-Adaptive Design. As explained further below, the Project was carefully designed with the design approaches identified in the Commercial Citywide Design Guidelines in mind.

i. Pedestrian First Design

- Guideline 1: Promote a safe, comfortable and accessible pedestrian experience for all.

The Project would promote a safe, comfortable and accessible pedestrian experience for all by reducing the curb cuts from three to two, by enhancing the landscaping, and converting a vacant, fenced off property with a vibrant residential use.

- Guideline 2: Carefully incorporate vehicular access such that it does not degrade the pedestrian experience.

Pedestrian access to the Project Site will be provided via Plainview Avenue, Foothill Boulevard, and Day Street (East Leg). Specifically, the Project includes a walkway connecting the residential

building to the sidewalk along the Property's Day Street (East Leg) frontage and a pedestrian entrance along the Property's Plainview Avenue frontage. Additionally, the Project includes a pedestrian entrance along the Project Site's Foothill Boulevard frontage (i.e., at the corner of Plainview Avenue and Foothill Boulevard). It is noted that sidewalks are also provided along Foothill Boulevard, Plainview Avenue, and Wilsey Avenue. Separate pedestrian entrances would provide access from nearby public transit stops, as well as other amenities along major corridors.

The Project generally supports the walkability guidelines discussing off-street parking and driveways, which provide that the safety of the pedestrian is primary in an environment where pedestrians and automobiles must both be accommodated. Vehicular access to the Project Site would be provided via a two-way driveway off of Plainview Avenue, providing controlled access. Vehicular ingress and egress for the street level of the parking garage would be provided from existing driveway on Plainview Avenue, thereby avoiding the need for new curb cuts or driveways, and in fact, provide a substantial reduction from the three existing driveways at the Project Site. The vehicle access points would be separated from the pedestrian activity of the Project.

The Project Site currently has three curb cuts. As part of the Project, two of the three curb cuts will be eliminated, and the Project would include only one curb cut, which would enhance the pedestrian experience. Furthermore, the Project would enhance the landscaping as compared to existing conditions, which would further enhance the pedestrian experience.

- Guideline 3: Design projects to actively engage with streets and public space and maintain human scale.

The Project is three stories, so will maintain human scale, and it has been designed to front all sides, including Foothill Boulevard, a major corridor, so that the Project engages with the street and the public space.

ii. 360 Degree Design

- Guideline 4: Organize and shape projects to recognize and respect surrounding context.

The surrounding context is comprised of commercial and multi-family uses. The Project has been designed to place all of the residential uses along the Property line and the vehicular uses internal to the Property to respect the surrounding context.

- Guideline 5: Express a clear and coherent architectural idea.

The Project expresses a clear and coherent architectural idea. The Project building façade would include a mix of materials, textures, and planes to add visual interest around the entire site in a neighborhood that hosts a mix of architectural styles among both residential and commercial buildings. This mid-rise building would front on Foothill Boulevard and is designed with varied massing and setbacks to articulate the building so that the façade is not a flat surface. Additionally, the Project includes windows and balconies along the street facing elevation to further orient the building to the street. The use of quality materials in combination with a clear architectural design would enhance the overall neighborhood context. Attention has been given to fenestration and

material composition that is responsive to the human scale. Furthermore, all roof top equipment and appurtenances would be screened from public view.

- Guideline 6: Provide amenities that support community building and provide an inviting, comfortable user experience.

The Project's open space and amenities would include a first-floor open-to-sky common area, a first floor courtyard common area with a fountain, landscaping, and seating, and a rooftop open deck area with landscaping and seating. The dwelling units would include private balconies.

- Guideline 7: Carefully arrange design elements and uses to protect site users.

The Project has carefully arranged design elements and uses to protect site users by carefully placing the various amenities to provide all tenants easy access.

The Project generally supports the walkability guidelines discussing building façade, which provide that a building's façade could be employed to meet many objectives for a safe, accessible, and comfortable pedestrian environment, specifically by adding visual interest and emphasizing pedestrian movement and comfort. The façade of the Project would be articulated through distinct horizontal blocks of material including recessed windows and balconies, as well as a change of material from the parking levels to the residential levels above. The Project is designed with a strong base on Foothill Boulevard and Plainview Avenue to distinguish the ground floor level from the levels above. The façade of the upper levels uses different materials to help create visual interest. A creative combination of plaster and fiber cement combined with balconies would push and pull out at various depths to create visual movement along the facades.

iii. Climate Adapted Design

- Guideline 8: Protect the site's unique natural resources and features.
- Guideline 9: Configure the site layout, building massing and orientation to lower energy demand and increase the comfort and well-being of users.
- Guideline 10: Enhance green features to increase opportunities to capture stormwater and promote habitat.

The Project would protect the site's unique natural resources and features, which are limited at best. Furthermore, the Project has been configured to lower energy demand and includes green features to increase environmental sustainability.


The Project would be compliant with the Los Angeles Green Building Code and the California Energy Code/Title 24 requirements, and would include, but not be limited to, the following features:

- Energy efficient elevator;
- Low-flow faucets, shower heads, and toilets;

- Energy efficient mechanical systems;
- Energy efficient glazing and window frames; and
- Energy efficient lighting.

As also required by the City Building Code, the Project would provide space to accommodate future rooftop solar panels and conduit for on-site electric automobile charging stalls, which would

VI. Requested Entitlements

 The Applicant is requesting approval of the following entitlements:

1. To amend the Foothill Corridor Specific Plan Map 3, Target Areas, to include the Property as being located within a Target Area;
2. Project Permit Compliance with the Foothill Boulevard Corridor Specific Plan; and
3. Density Bonus (no additional density requested)
 - a. with the following *on-menu* incentive:
 - i. Average the floor area, density, open space and parking over the project site, and permit vehicular access from a less restrictive zone to a more restrictive zone.
 - b. with the following *off-menu* incentive:
 - i. Reduce the required setback along Foothill Boulevard from 15 feet to 10 feet.
 - c. with the following *waivers of development standards*:
 - i. A waiver from Section 7.B.3 of the Specific Plan to increase the permitted maximum height from 33 feet to 42 feet; and
 - ii. A waiver from Section 7.B.5 of the Specific Plan to eliminate the requirement of providing a walkway within the Project.

In addition to the entitlements identified above, additional approvals will be required for construction and operation of the Project, including, but not limited to approval of permits for the following: demolition, haul route, excavation, shoring, grading, foundation, building and interior improvements and the removal of trees on private and public property.

Proposed Findings - 7577 Foothill Boulevard

1. Specific Plan Amendment

- a. *Adoption of the proposed land use ordinance will be in conformity with public necessity, convenience, general welfare and good zoning practice.*

The Property consists of multiple lots and has a General Plan designation of General Commercial, Limited Commercial, and Low Medium II Residential. The various lots also have different zoning designations, including C2-1, CR-1VL, and RD2-1. The underlying General Plan designation and the zoning designations allow multi-family housing, including the development and operation of the Project; however, an outdated standard contained in the Specific Plan that the City adopted in 1995 prohibits residential uses on a portion of the property.

Adoption of the proposed land use element would actually bring the Property's land use regulations into conformance with public necessity, convenience, general welfare and good zoning practice because the underlying General Plan and zoning designations allow the project, and the City is in the midst of a severe housing shortage. Any regulation from 1995 that restricts the development of residential housing, including affordable housing, along a major street – Foothill Boulevard – is inconsistent with State and City policy. Therefore, the existing land use ordinance is not in conformity conformance with public necessity, convenience, general welfare and good zoning.

As addressed below, the Project is consistent with the *General Plan Framework Element's* applicable objectives and policies.

- Land Use Chapter; Objective 3.1: Accommodate a diversity of uses that support the needs of the City's existing and future residents, businesses, and visitors.
 - The Project would develop 46 dwelling units, including 5 deed-restricted affordable housing units for Very-Low Income Households, which would help meet the anticipated growth in housing demand for the area and the City.
- Housing Chapter; Policy 4.1.1: Provide sufficient land use and density to accommodate an adequate supply of housing units by type and cost within each City subregion to meet the twenty-year projections of housing needs.
 - The Project would develop 46 dwelling units, including five deed-restricted affordable housing units for Low-Income Households, available in the Sunland – Tujunga – Lake View Terrace – Shadow Hills – East La Tuna Canyon Community Plan area, which would help meet the anticipated growth in housing demand for the area and the City.
- Urban Form and Neighborhood Design Chapter; Objective 5.5: Enhance the livability of all neighborhoods by upgrading the quality of development and improving the quality of the public realm.

- The Project would develop a vacant site with a new, high-quality, 46-unit residential development. The Project proposes a residential building that is constructed to the latest resource-efficient requirements of the LA Green Building Code, as well as provisions for on-site bicycle parking and within proximity to transit service to reduce car dependency, thereby facilitating transportation alternatives to single-occupant vehicles, reducing vehicle miles traveled, and improving the quality of life and aesthetic quality of the public realm.

As addressed below, the Project is consistent with the *Sunland – Tujunga – Lake View Terrace – Shadow Hills – East La Tuna Canyon Community Plan’s* applicable objectives and policies.

- Community Plan; Objective 1-1. To provide for the preservation of existing and the development of new housing to meet the diverse economic and physical needs of the existing residents and projected population of the Plan area to the year 2010.
 - Although the Project is being proposed in 2020, the Project would include up to 46 multi-family dwelling units, including 5 units reserved for Low-Income Households, within the Community Plan Area. The Project would supply housing units on a Project Site where currently none exist, within the Community Plan Area.
- Community Plan; Policy 1-1.2. Protect existing single family residential neighborhoods from encroachment by higher density residential and other incompatible uses.
 - The Property fronts Foothill Boulevard, a major corridor, and is adjacent to many multi-family and commercial buildings. The area is an urban setting with many similar uses. In addition, and in compliance with the LAMC, the building would setback 10 feet from the abutting single-family property lines on Wilsey Avenue.
- Community Plan; Objective 1-5. To promote and insure the provision of adequate housing for all persons regardless of income, age or ethnic background.
 - The Project would include up to 46 multi-family dwelling units, including 5 units reserved for Very-Low Income Households, within the Community Plan Area.

As addressed below, the Project is consistent with the *Foothill Boulevard Corridor Specific Plan’s* applicable objectives and policies.

- Specific Plan; 6.A. General Design Provisions: (1) All roof mechanical equipment and duct work shall be screened from view; (2) Night lighting shall be shielded and directed onto the site and no floodlighting shall be located so as to be seen directly by adjacent properties. Blinking lights are prohibited. This provision shall not preclude the installation of low-level security lighting, and (3) Trash/garbage areas shall be screened by a wall enclosure and/or landscape materials.
 - The Project has been designed to so that all rooftop equipment will be screened from potential public view and all trash areas would be enclosed and screened from view within the basement parking area. Furthermore, building security lighting

would be used at all entry/exits and would remain on from dusk to dawn, but would be designed to prevent light spillover onto adjacent properties.

- Specific Plan; 6.C. General Provisions for Landscaping: Notwithstanding Section 12.23 of the Code related to buildings and uses, in order to establish consistent landscape standards for Projects, no building permit shall be issued unless the Project is consistent with the landscape requirements set forth below. All parcels rendered nonconforming by the landscape standards shall comply with the landscape provisions within five years of the effective date of this ordinance. Exceptions to this section may be granted for existing landscape, provided that the Director finds that the landscape conforms to the intent of this ordinance or it is practically impossible to provide. Otherwise, all Projects shall incorporate landscaping in conformance with the following requirements: (3) The following provisions shall apply to any Project and are applicable until the adoption of the Citywide landscape ordinance, which will then supersede the provisions in this Specific Plan: (a) Use of artificial plants for exterior landscape shall be prohibited. In addition, drought-tolerant plant materials are encouraged and landscaping shall comply with the adopted Xeriscape Ordinance, (b) All landscape areas shall be equipped with an automatic sprinkling or drip irrigation system designed to conserve water. In addition, the system shall be installed and operational prior to issuance of a certificate of occupancy, (c) Softscape. Each area to be landscaped shall be planted with a variety of plant materials which include shrubs, trees, ground cover, lawn, planter boxes or flowers, (d) Entrances to courtyards and walkways. Softscape shall be grouped and placed at entrances to courtyards and walkways, (g) Parking Level Screening. Above-grade parking shall be visually screened from public streets and residences, except at pedestrian or vehicle entrances, (h) Maintenance of Landscape and Amenities. representative to maintain all landscape features located on private property, including, but not limited to, softscape, walkways, benches and fountains in accordance with the following criteria: (1) All fabricated features shall be maintained in a good condition both in structural integrity and cosmetic appearance, (2) All softscape shall be watered, fertilized, trimmed and maintained in good condition, (3) Required landscape areas shall be maintained free of litter and other undesirable debris.
 - The Project's landscape plan would include a variety of trees, shrubs, and ground cover complementing the common open space areas on the ground level and roof level. Drought tolerant and native plants, drip/subsurface, zoned irrigation with weather-based irrigation controllers, water-conserving turf would all be incorporated. Further, the portion of the parking level, that will be visual from the street shall be visually screened, except at the vehicle entrances.
- Specific Plan; 6.D. General Provisions for Buffering. (2) No wall or fence within 50 feet of a front yard setback from a public street shall extend more than 25 feet horizontally without a visual break. Visual breaks may be accomplished by articulation or architectural detailing in the wall plane facing the street, using a staggered wall, an indentation in the wall, a spacing of columns, a series of raised planters or by varying the height of elements and alignment of the wall or including gates or other penetrations for pedestrian access.

- The design of the building incorporates differing color palette and architectural appearance with varying roof lines and breaks to reduce the overall sense of perceived mass. Portions of the Project building would also be set back from the property line.
- Specific Plan: 7.A. Land Use Limitations. (1) New residential construction in commercial zones is restricted to areas identified on the Target Areas Map, except where prohibited by the underlying zone.
 - The Applicant has requested to amend the Specific Plan to identify the Property as a Target Area, which allows multi-family housing.
- Specific Plan: 7.B. Development Provisions. (1) Required Yards for New Residential Construction. Any yards abutting Foothill Boulevard shall be a minimum of 15 feet deep, or as required by the underlying zone, whichever is larger.
 - Per LAMC section 12.22.A.25 (Affordable Housing Incentives – Density Bonus), the Project is requesting a density bonus with an incentive to reduce the required front setback along Foothill Boulevard from 15 feet to 10 feet.
- Specific Plan: 7.B. Development Provisions. (2) Open Space. Open space for active and passive recreational purposes shall be provided on the subject site as follows: (i) A minimum of 100 square feet of usable open space shall be provided for each dwelling unit. Parking areas, driveway and the required front yard setback area may not be included as open space; (ii) Required access ways, building separation and side yard and rear yard setback areas may be included as usable open space, provided such areas are at least 20 feet in width and are landscaped or improved for recreational use to the satisfaction of the Planning Department; (iii) Private patios or enclosed yards (at grade) which are part of a dwelling unit may be included as usable open space if they are a minimum of 150 square feet. Recreation rooms may be included as open space but may not count for more than 10 percent of the total required open space area; (iv) Each common open space area (for use by more than one dwelling unit) including recreational rooms shall be a minimum of 400 square feet; and (v) A maximum of 50 percent of the common usable open space may be landscaped treatments, such as swimming pools, spas, walks, patios, courts, fountains, and barbecue areas.
 - 4,600 square feet of open space is required for this Project. The Project would provide 15,830 square feet of open space, and the provided common areas on the ground floor and the roof level would be over the required minimum 400 square feet. In addition, in conformance with LAMC Section 12.21.G, 25 percent of the provided outdoor common open space would be landscaped, or a minimum of 3,958 square feet.
- Specific Plan: 7.B. Development Provisions. (3) Height: New residential buildings, accessory buildings, structures, or additions to such existing buildings or structures shall not exceed 33 feet in height.

- Per LAMC section 12.22.A.25 (Affordable Housing Incentives – Density Bonus), the Project is requesting a density bonus with an incentive to increase the maximum height limit from 33 feet to 42 feet. Additionally, the Project’s architectural features are compatible in scale and character with the existing neighborhood. The Project’s design and height would allow for the development of three residential units in an area with constrained housing supply.
- Specific Plan; 7.B. Development Provisions. (4) Off-Street Parking. For any Project, except for hotels and motels, which increases the existing floor area on site, number of dwelling units, or number of guest rooms, the following shall apply: (i) Number of Required Parking Spaces: A minimum of two parking spaces for each dwelling unit; Guest parking shall be provided at a ratio of 1/2 space for each dwelling unit, guest room, or efficiency dwelling unit. Guest parking shall be clearly identified and accessible.
- Per LAMC section 12.22.A.25 (Affordable Housing Incentives – Density Bonus), the Project is requesting a parking reduction. The Project is required to provide 79 parking spaces. The Project will provide 92 on-site parking spaces.
- Specific Plan; 7.B. Development Provisions. (6) Street Dedication and Improvement. Notwithstanding the provisions of Section 12.37 A of the Code, for Significant Projects, street dedication and improvements shall be completed prior to the issuance of a Certificate of Occupancy. The street dedication and improvements shall be required as follows: (a) At least one half of the width of any street abutting a lot or lots on which a Project is located shall be dedicated and improved to the standards contained in Section 12.37 H of the Code, (b) The maximum area of land required to be so dedicated and improved shall not exceed 25 percent of the area of any such lot which was on record on March 1, 1962, in the Los Angeles County Recorder's Office. In no event shall such dedication reduce the lot below a width of 45 feet nor below an area of 4,500 square feet; (c) For any dedications and improvements required to be made pursuant to the provisions of this section, a bond in such amount as the City Engineer estimates is necessary to complete all of the improvements required must be filed with the City Engineer, (d) All required improvements shall be accomplished in accordance with current applicable provisions of the Standard Specifications for Public Works adopted by the City Council, (f) Street Trees. Street trees shall be planted along the public right-of-way to the specifications established by the Street Tree Division of the Department of Public Works at a minimum of one tree per 30 lineal feet.
 - The Project proposes a five-foot property line and a 15-foot street dedication both on Foothill Boulevard. The Project proposes to retain the existing three street trees along Plainview Avenue, pending Department of Urban Forestry approval.
- Specific Plan; 7.C. Design Provisions. (1) Design of Buildings: (a) Balconies (adjacent to single-family uses). Above the first floor, there shall be no balconies which have a line-of-sight to any adjacent existing single-family use, unless the latter is designated for less restrictive uses by the General Plan; (b) Parking structures' ingress and egress shall not have a vertical clearance greater than 13.5 feet.

- Approximately 46 of the dwelling units would include private balconies. The balconies have been designed to face a multi-family use directly north of the Project Site and to avoid the single-family uses located directly east of the Project Site. The parking garage ingress and egress has been designed with a vertical clearance of 11 feet.

Therefore, adoption of the proposed land use ordinance will be in conformity with public necessity, convenience, general welfare and good zoning practice.

2. Project Permit Compliance

- a. *The Project substantially complies with the applicable regulations, findings, standards and provisions of the specific plan.*

See above regarding consistency with the Foothill Corridor Specific Plan.

- b. *The Project incorporates mitigation measures, monitoring measures when necessary, or alternatives identified in the environmental review which would mitigate the negative environmental effects of the Project, to the extent physically feasible.*

The City has prepared a Categorical Exemption (Class 32), which has concluded that the Project would not result in any significant and unavoidable environmental impacts. Therefore, no mitigation measures are appropriate or included.

3. Density Bonus/Affordable Housing (On Menu Incentive, Off Menu Incentive & Waiver of Development Standards)

Following is a delineation of the findings and the application of the relevant facts as related to the request for one On-Menu Incentive (to average the floor area, density, open space and parking over the project site, and permit vehicular access from a less restrictive zone to a more restrictive zone), one Off-Menu Incentives (reduce the required setback along Foothill Boulevard from 15 feet to 10 feet) and two waivers of development standards (a waiver from Section 7.B.3 of the Specific Plan to increase the permitted maximum height from 33 feet to 42 feet; and a waiver from Section 7.B.5 of the Specific Plan to eliminate the requirement of providing a walkway within the Project) to allow for the development of up to 46 residential units, comprised of 41 market-rate units and 5 Very-Low Income affordable units, for a total new floor area of 67,822 square feet. Pursuant to Section 12.22 A.25(g) of the LAMC and Government Code Section 65915, the City Planning Commission *shall* approve a Density Bonus and requested Incentive(s) unless the Commission finds that:

On Menu Findings

1. *The façade of any portion of a building that abuts a street shall be articulated with a change of material or with a break in plane, so that the façade is not a flat surface. Indicate the sheet number on your plans which shows compliance with this requirement:*

The façade of any portion of the Project that abuts a street would be articulated with a change of material or with a break in plane, so that the façade is not a flat surface. See Sheet numbers: A-5, A-6, and A7. Furthermore, see the rendering.

2. *All buildings must be oriented to the street by providing entrances, windows, architectural features and/or balconies on the front and along any street-facing elevations. Indicate the sheet number on your plans which shows compliance with this requirement:*

The Project's building would be oriented to the street by providing entrances, windows, architectural features and/or balconies on the front and along any street-facing elevations. The Project's architecture supports the public realm, and vice versa. The building facades would be street-facing and interwoven decorative design features to create a connection between the interior and exterior of the buildings. See Sheet numbers: A-2, A-3, A-3.1, A-4, A-5, A-6, and A7. Furthermore, see the rendering.

3. *The Housing Development Project shall not be a contributing structure in a designated Historic Preservation Overlay Zone and shall not be on the City of Los Angeles list of Historical-Cultural Monuments.*

The Housing Development Project is not be a contributing structure in a designated Historic Preservation Overlay Zone and is not be on the City of Los Angeles list of Historical-Cultural Monuments.

4. *The Housing Development Project shall not be located on a substandard street in a Hillside Area or in a Very High Fire Hazard Severity Zone as established in Section 57.4908 of the Municipal Code.*

The Housing Development Project is not be located on a substandard street in a Hillside Area or in a Very High Fire Hazard Severity Zone as established in Section 57.4908 of the Municipal Code. The Project Site is a generally flat, urban infill location.

On and Off-Menu Incentives and Waiver of Development Standards Findings

Pursuant to LAMC Section 12.22-A.25(g)(2)(i)(c) and Government Code Section 65915(e)(1), the Director shall approve a Density Bonus and requested Incentive(s) and Waiver of Development Standard(s) unless the Director finds that either:

5. *The Incentive is not required in order to provide for affordable housing costs (e.g., does not result in identifiable and actual cost reductions) as defined in California Health and Safety Code Section 50052.5, or Section 50053 for rents for the affordable units; or*

On-Menu Incentive

The record does not contain evidence that would allow the decision-maker (i.e., City Planning Commission) to make a finding that the requested incentives are not required to provide for affordable housing costs as defined in California Health and Safety Code Section 50052.5, which defines “affordable housing cost” having the same meaning as affordable rent as defined in Section 50053. Section 50053 of the California Health and Safety Code defines affordable rent, including a reasonable utility allowance shall not exceed 30 percent times 50 percent of the area median adjusted for family size appropriate for the unit for Very Low Income Households. Affordable housing costs are a calculation of residential rent or ownership pricing to not be less than 15 percent of gross income nor exceed 25 percent gross income based on area median income thresholds.

The list of On-Menu Incentives in LAMC 12.22 A.25 were pre-evaluated at the time the Density Bonus Ordinance was adopted to include types of relief that minimize restrictions on the size of a project. As such, the Department will always arrive at the conclusion that the Density Bonus On-Menu Incentives will result in identifiable and actual cost reductions that provide for affordable housing costs as the incentives, by their nature, increase the scale of the project.

The Project Site is comprised of 15 lots and three different zoning designations (RD2-1, C2-1, and CR-1VL). Pursuant to LAMC Section 12.22 A.25(f)(8), a Housing Development Project that is located on two or more contiguous parcels may average the floor area, density, open space, and parking over the project site. The on-menu incentive would permit the total allowable development requirements for the Project to be allocated across the entire Project Site, thereby allowing for efficiency in construction and design.

Therefore, there is substantial evidence that the requested on-menu incentive provides actual and identifiable cost reductions to provide for the affordable housing costs, and this Incentive supports the Applicant’s decision to set aside Very Low Income households.

Off-Menu Incentive

Reduce the required setback along Foothill Boulevard from 15 feet to 10 feet

The applicant requests to reduce the required setback along Foothill Boulevard from 15 feet to 10 feet to allow for the development of the 46 units, including the Very-Low Income units. The Project Site is oddly shaped, and if the Project were required to provide a 15-foot setback along Foothill Boulevard, the Project would be required to either reduce density (including reducing the number of affordable units) or reduce the size of the units, which would reduce the amount of rent collected, and make providing affordable housing infeasible. Furthermore, the parking area would not be able to be accommodated in an efficient manner, further increasing construction costs and making the development of affordable units infeasible.

The requested Off-Menu Incentive would also allow the Project to provide a well-balanced development program with the appropriate allocation of residential (market-rate and affordable) uses, as well as open space and amenities across the Project Site. Specifically, the allocation of uses and amenities guided by design and market principles, as opposed to the lot configuration and differing standards of separate development lots, results in a well-designed and attractive development that enhances the market-rate rents, which would subsidize the operational costs of the affordable units.

Therefore, there is substantial evidence that the requested off-menu incentive provides actual and identifiable cost reductions to provide for the affordable housing costs, and this Incentive supports the Applicant's decision to set aside Very Low Income households.

6. *The Incentive or Waiver will have a Specific Adverse Impact upon public health and safety or on any real property that is listed in the California Register of Historical Resources and for which there is no feasible method to satisfactorily mitigate or avoid the Specific Adverse Impact without rendering the development unaffordable to Very Low, Low and Moderate Income households. Inconsistency with the zoning ordinance or general plan land use designation shall not constitute a specific, adverse impact upon the public health or safety; or*

There is no substantial evidence in the record that the proposed incentives will have a specific adverse impact. A "specific adverse impact" is defined as, "a significant, quantifiable, direct and unavoidable impact, based on objective, identified written public health or safety standards, policies, or conditions as they existed on the date the application was deemed complete" (LAMC Section 12.22.A.25(b)). As required by Section 12.22 A.25(e)(2), the findings to deny an incentive under Density Bonus Law are not equivalent to the findings for determining the existence of a significant unavoidable impact under CEQA. There is no substantial evidence that the incentives for the Project will have a specific adverse impact on the physical environment, or on public health and safety, or on any property listed in the California Register of Historical Resources. Therefore, there is no substantial evidence that the proposed incentives will have a specific adverse impact on public health and safety.

7. *The concession, incentive, or waiver would be contrary to state or federal law.*

There is no evidence that the proposed concession, incentive, or waivers would be contrary to state or federal. To the contrary, the requested incentives, concessions, and waivers are consistent with the State Density Bonus Law, codified on Government Code Section 65915.

Density Bonus Off-Menu Waiver of Development Standards Findings

Following is a delineation of the findings and the application of the relevant facts as related to the recommendation for two Off-Menu Waivers (a waiver from Section 7.B.3 of the Specific Plan to increase the permitted maximum height from 33 feet to 42 feet; and a waiver from Section 7.B.5 of the Specific Plan to eliminate the requirement of providing a walkway within the Project) to allow for the development of up to 46 residential units, comprised of 41 market-rate units and 5 Very-Low Income affordable units, for a total new floor area of 67,822 square feet. Pursuant to Section 12.22 A.25(g) of the LAMC and Government Code Section 65915, the City Planning Commission shall approve a Density Bonus and requested Incentive(s) unless the Commission finds that:

1. *The waivers or reductions of development standards are contrary to state or federal law.*

There is no evidence in the record that the proposed Waivers are contrary to State or Federal law. A project that provides 10 percent of base units for Very Low Income Households qualifies for two (2) Incentives, and pursuant to Government Code Section 65915(e)(1), an Applicant may request other "waiver[s] or reduction[s] of development standards that will have the effect of

physically precluding the construction of a development meeting the [affordable set-aside percentage] criteria of subdivision (b) at the densities or with the concessions or incentives permitted under [State Density Bonus Law]”. Moreover, Government Code Section 65915(e)(2) states that that a proposal for the waiver or reduction of development standards shall neither reduce nor increase the number of incentives or concessions to which the applicant is entitled. The Applicant requests two (2) Off-Menu Waiver of Development Standards to increase the permitted maximum height from 33 feet to 42 feet and a waiver to eliminate the requirement of providing a walkway within the Project.

Without the requested Waivers of Development Standards, the existing development standards would preclude development of the proposed density bonus units and project amenities in the following regard.

Increase the permitted maximum height from 33 feet to 42 feet

The RD2-1 and CR-1VL zoned parcels are allowed a maximum height of 45 feet, and the C2-1 zoned parcels are allowed a maximum height of 75 feet. However, the Specific Plan reduces the maximum height to 33 feet. The Project includes 16 units above the 33 foot height limit, and if the Applicant is unable to develop the 16 units, the entire project would become infeasible. Even if the Project were built, the number of Affordable units would be reduced because the number of market-rate units would be reduced. If the Project were subject to the 33 foot height limit, the Project would not be able to build the necessary density to allow for the development of the Affordable Housing Units.

Eliminate the requirement of providing a walkway within the Project

The Specific Plan requires that the Project provide a walkway. However, the Project is not able to provide the walkway because of the Project Site is irregularly shaped lot. Providing the walkway would necessarily either reduce the number of units or the size of units, both of which would make providing Affordable Housing Units infeasible. While the Project will not provide the walkway, the Project has been designed to meet the City’s Design Standards.

Granting the requested Waivers would allow the Project to have comparable, marketable unit sizes, provide sufficient usable open space in compliance with the LAMC, and be able to maximize the total floor area dedicated to provide a well-balanced development program across the Project Site with the appropriate balance of residential (market-rate and affordable) uses, on-site parking, as well as open space and amenities within and across the Project Site.

Therefore, the development standards from which the developer is requesting Waivers would have the effect of physically precluding the construction of a development meeting the affordable set-aside criteria, and would prevent the developer from building the proposed residential units.

- 2. The Waiver will have a specific adverse impact upon public health and safety or the physical environment, or on any real property that is listed in the California Register of Historical Resources and for which there are no feasible method to satisfactorily mitigate or avoid the specific adverse impact without rendering the development unaffordable to Very Low, Low and Moderate Income households. Inconsistency with the zoning ordinance*

or the general plan land use designation shall not constitute a specific, adverse impact upon the public health or safety.

There is no substantial evidence in the record that the proposed incentives will have a specific adverse impact. A “specific adverse impact” is defined as, “a significant, quantifiable, direct and unavoidable impact, based on objective, identified written public health or safety standards, policies, or conditions as they existed on the date the application was deemed complete” (LAMC Section 12.22.A.25(b)). The findings to deny an incentive under Density Bonus Law are not equivalent to the findings for determining the existence of a significant unavoidable impact under CEQA. There is no substantial evidence that the incentive for the Project will have a specific adverse impact on the physical environment, or on public health and safety, or on any property listed in the California Register of Historical Resources. Therefore, there is no substantial evidence that the proposed incentives will have a specific adverse impact on public health and safety.

14549 Archwood St, Suite 301
 Van Nuys, California 91405
 Phone (818) 997-7949 • Fax (818) 997-0351
 gmapping@gesqms.com



Quality Mapping Service

CONTACT: MAYER BROWN

PHONE: 213-229-5162

USES: FIELD/RECORD

EAST LA TUNA CANYON
 SHADOW HILLS
 LAKEVIEW TERRACE

DM: 204A197, 204B197

TRACT: 3686 M.B. 49-50

SCALE: 1" = 100'

LOT: POR 73, 74-76, 78-90, 96

CASE NO:

CD: 7

7569-7583 W. FOOTHILL BLVD

10222-10230 N. PLANVIEW AVE

SITE ADDRESS: 10211-10217 WILSEY AVE

ASSESSOR PARCEL NUMBER: 2558-032-(004)006,008-018,021

Page: 503 Grid: J-4

THOMAS BROTHERS

NET AC: 1.048

DATE: 08-04-2021

Update:

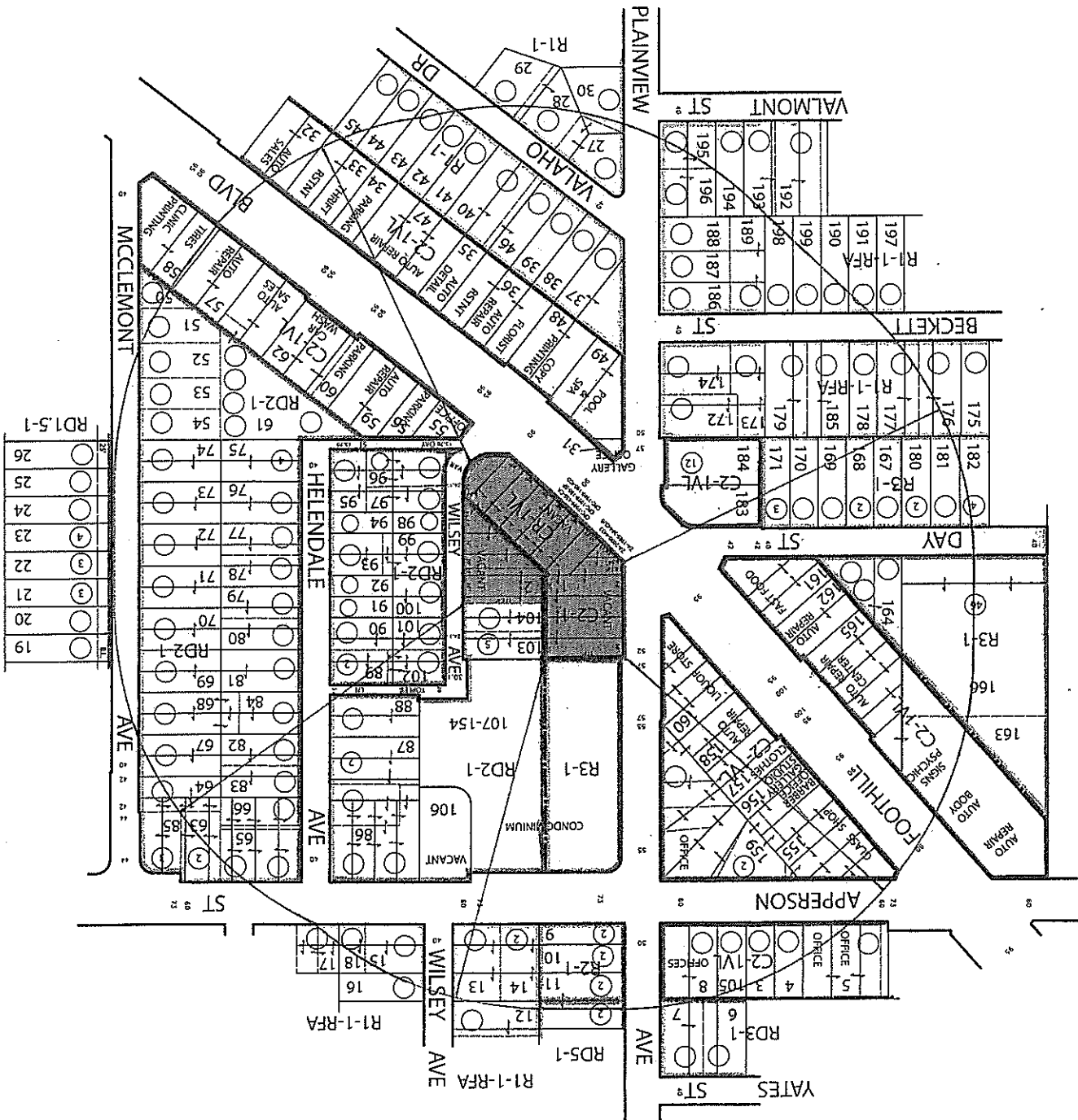
08-04-2021

08-04-2021

08-04-2021

08-04-2021

DENSITY BONUS-OFF MENU / SPECIFIC PLAN AMENDMENT
 PROJECT PERMIT COMPLIANCE





VARTAN JANGOZIAN &
ASSOCIATES

architectural planning & interiors



Vicinity Map



Address: 10211-10217 WILSEY AVE
10222-10230 N PLAINVIEW AVE
7569-7583 W FOOTHILL BLVD


 # 21-207

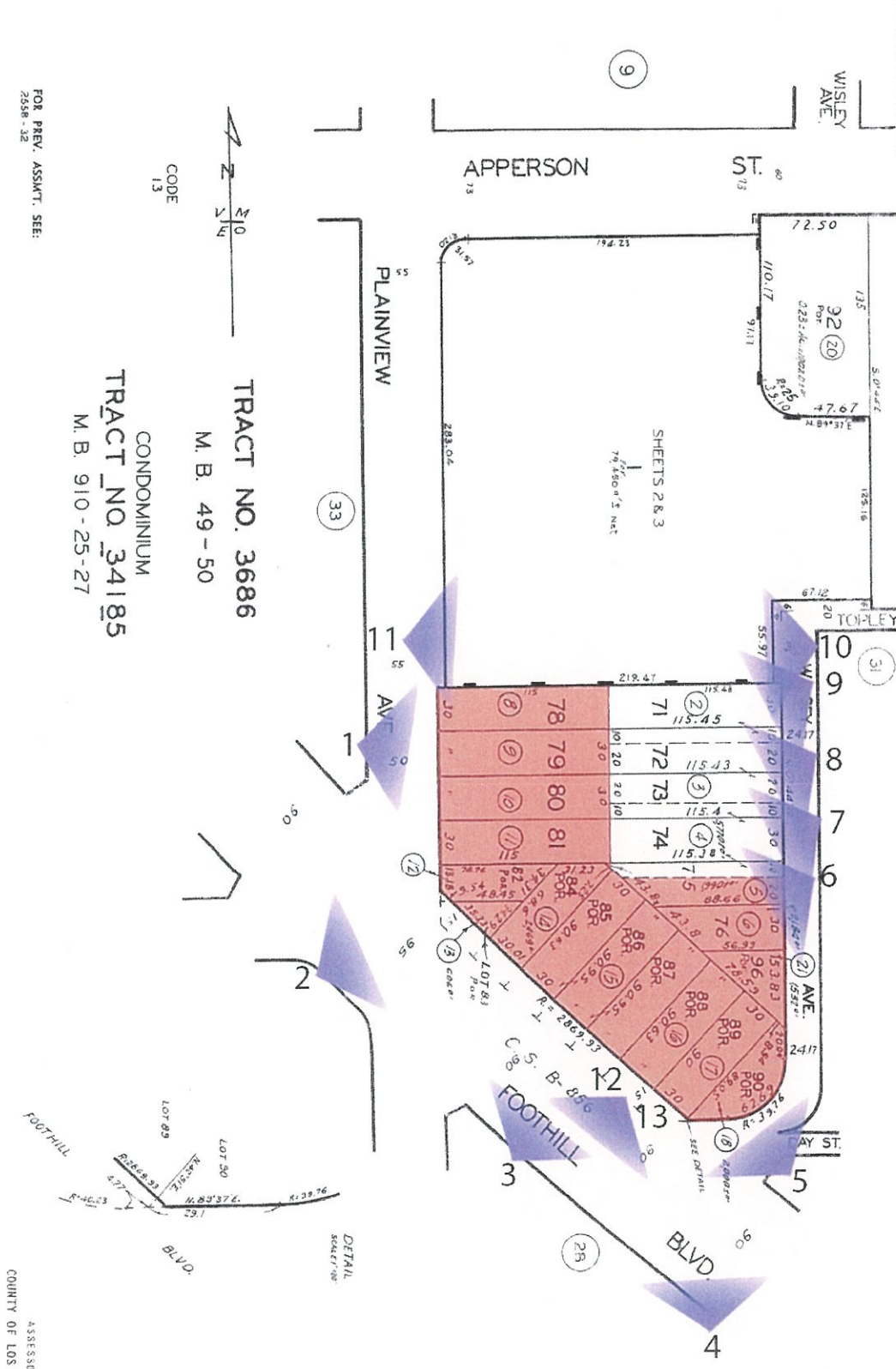
PHOTO SURVEY MAP
7577 FOOTHILL BLVD TUJUNGA, CA 91042

2558 32
SHEET 1
SCALE 1" = 60'

2005



Revised
2-5-60
680202
S9128524-04
200509202



FOR PREV. ASSM'T. SEE:
2558-32

TRACT NO. 36886
M. B. 49-50
CONDOMINIUM
TRACT NO. 34185
M. B. 910-25-27

ASSESSOR'S MAP
COUNTY OF LOS ANGELES, CALIF.

PHOTO SURVEY MAP
7577 FOOTHILL BLVD TUJUNGA, CA 91042



1. 7577 FOOTHILL BLVD, TUJUNGA, CA 91042



2. 7577 FOOTHILL BLVD, TUJUNGA, CA 91042

PHOTO SURVEY MAP
7577 FOOTHILL BLVD TUJUNGA, CA 91042



3. 7577 FOOTHILL BLVD, TUJUNGA, CA 91042



4. 7577 FOOTHILL BLVD, TUJUNGA, CA 91042

PHOTO SURVEY MAP
7577 FOOTHILL BLVD TUJUNGA, CA 91042



5. 7577 FOOTHILL BLVD, TUJUNGA, CA 91042



6. 7577 FOOTHILL BLVD, TUJUNGA, CA 91042

PHOTO SURVEY MAP



7. 10221 WILSEY AVE. TUJUNGA, CA 91042 (adjacent property)



8. 10227 WILSEY AVE. TUJUNGA, CA 91042 (adjacent property)

PHOTO SURVEY MAP



9. 10229 WILSEY AVE. TUJUNGA, CA 91042 (adjacent property)



10. 10260 PLAINVIEW AVE. TUJUNGA, CA 91042 (adjacent property)

PHOTO SURVEY MAP



11. 10260 PLAINVIEW AVE. TUJUNGA, CA 91042 (adjacent property)



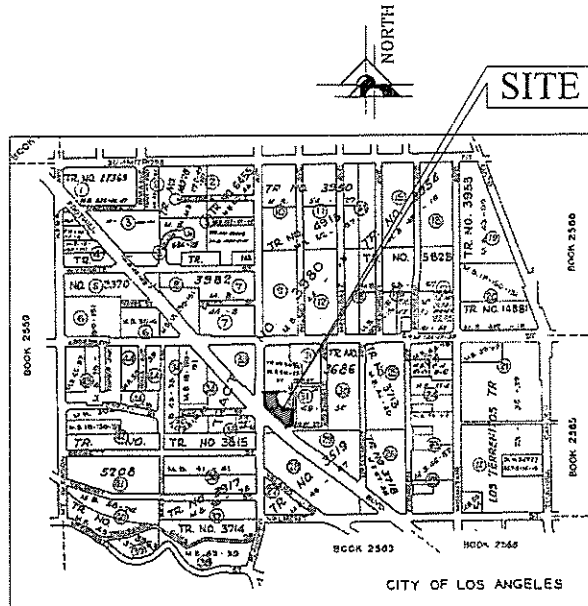
12.-13. 7568-7578 FOOTHILL BLVD. TUJUNGA, CA 91042 (across Foothill)

PROJ. TITLE: **PROPOSED 3-STORY 46-UNITS APARTMENT BUILDING**

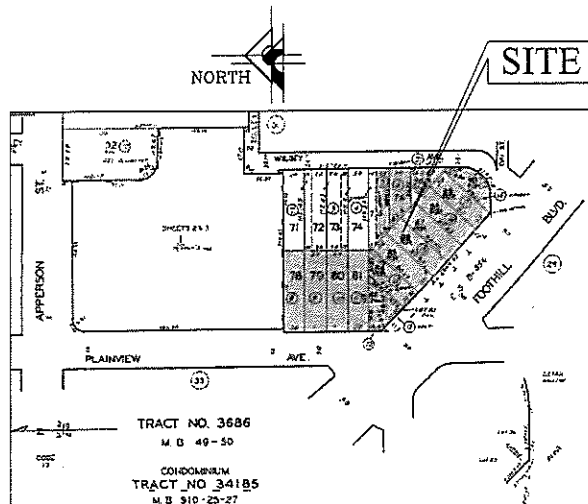
PROJ. ADD: 7577 W. FOOTHILL BLVD., TUJUNGA, CA. 91042

GENERAL NOTES:

- 1. THE CONTRACTOR SHALL REVIEW AND VERIFY ALL SITE CONDITIONS, DRAWING DIMENSIONS, AND SPECIFICATIONS BEFORE COMMENCING ANY PORTION OF THE WORK...
2. SEPARATE SIGN, MECHANICAL, ELECTRICAL, AND/OR PLUMBING PERMITS ARE REQUIRED...
3. THE APPROVAL OF PLANS AND SPECIFICATIONS DOES NOT PERMIT THE VIOLATION OF ANY SECTION OF THE BUILDING CODE OR OTHER CITY ORDINANCE OR STATE LAW...
4. THIS PROJECT SHALL COMPLY WITH TITLE 24 AND 2019 CALIFORNIA BUILDING CODE (CBC)...
5. WATER SHALL BE PROVIDED ON THE SITE AND USED TO CONTROL DUST...
6. NO MATERIALS SHALL BE STORED ON PUBLIC PROPERTY UNLESS AN ENCROACHMENT PERMIT IS FIRST OBTAINED FROM THE PUBLIC WORKS DEPARTMENT...
7. CONTRACTOR TO MAINTAIN CITY STREET AND SIDEWALKS CLEAR OF DIRT AND DEBRIS AT ALL TIMES...
8. ALL WORKS SHALL CONFORM TO ALL REQUIREMENTS OF STATE OF CALIFORNIA TITLE 24 REGARDLESS OF THE REGULATION INDICATED ON THIS PLAN...
9. NO NEW ROOT TOP EQUIPMENT IS ALLOWED...
10. INSTALL 6" SIALKRAFT FLASHING AT EXTERIOR OPENING...
11. ALL DIMENSIONS ARE GIVEN FROM FACE TO FACE OF STUDS UNLESS OTHERWISE NOTED...
12. CONTRACTOR TO MAINTAIN CITY STREET AND SIDEWALKS CLEAR OF DIRT AND DEBRIS AT ALL TIMES...
13. PROVIDE TWO LAYERS OF GRADE 'D' PAPER OVER ALL WOOD BASED SHEATHING PRIOR TO EXTERIOR LATH APPLICATION...
14. THE APPROVAL OF PLANS AND SPECIFICATIONS DOES NOT PERMIT THE VIOLATION OF ANY SECTION OF THE BUILDING CODE OR OTHER CITY ORDINANCE OR STATE LAW...
15. ALL WALLS TO BE 1-HOUR RATED UNLESS OTHERWISE NOTED...
16. THE FOLLOWING LOCATION SHALL BE PROVIDED WITH SAFETY GLAZING...
17. ALL WINDOW GLASS ARE TO BE EQUAL TYPE UNLESS OTHERWISE STATED...
18. SEPARATE PERMIT MAY BE REQUIRED FOR MECHANICAL, ELECTRICAL, PLUMBING, SIGNING, GRADING AND DEMOLITION...
19. A SECURITY FENCE SHALL BE PROVIDED AROUND THE CONSTRUCTION AREA...
20. TEMPORARY TOILET FACILITIES SHALL BE PROVIDED ON SITE...
21. THE FINISH GRADE SHALL SLOPE A MIN. OF 4% TO A POINT 10 FEET FROM BUILDING FOUNDATION...
22. SEPARATE PERMIT MAY BE REQUIRED FOR MECHANICAL, ELECTRICAL, PLUMBING, SIGNING, GRADING AND DEMOLITION...
23. ALL PROPERTY LINES, EASEMENTS, AND EXISTING BUILDING HAVE BEEN INDICATED ON THIS SITE PLAN...
24. A SECURITY FENCE SHALL BE PROVIDED AROUND THE CONSTRUCTION AREA...
25. TEMPORARY TOILET FACILITIES SHALL BE PROVIDED ON SITE...
26. THE FINISH GRADE SHALL SLOPE A MIN. OF 4% TO A POINT 10 FEET FROM BUILDING FOUNDATION...
27. SEPARATE PERMIT MAY BE REQUIRED FOR MECHANICAL, ELECTRICAL, PLUMBING, SIGNING, GRADING AND DEMOLITION...
28. ALL PROPERTY LINES, EASEMENTS, AND EXISTING BUILDING HAVE BEEN INDICATED ON THIS SITE PLAN...
29. A SECURITY FENCE SHALL BE PROVIDED AROUND THE CONSTRUCTION AREA...
30. TEMPORARY TOILET FACILITIES SHALL BE PROVIDED ON SITE...
31. THE FINISH GRADE SHALL SLOPE A MIN. OF 4% TO A POINT 10 FEET FROM BUILDING FOUNDATION...



A VICINITY MAP N.T.S.



B LOCATION MAP N.T.S.

LEGAL DESCRIPTION

NOS. OF PARKING: BASEMENT GARAGE: 52 NOS. (STANDARD) PARKING 4 NOS. (ACCESSIBILITY) 32 NOS. (COMPACT) REAR OUTDOOR: 3 NOS. (STANDARD) PARKING 3 NOS. (COMPACT) OVERALL TOTAL NOS. OF PARKING: 92 NOS. NOS. OF BICYCLE PARKING: BASEMENT GARAGE: 9 NOS. (LONG TERM) (INDOOR) BASEMENT GARAGE: 40 NOS. (LONG TERM) (INDOOR) (BICYCLE ROOM) TOTAL LONG TERM: 49 NOS. TOTAL BICYCLE PARKING: BASEMENT: 12 NOS. (SHORT TERM) (OUTDOOR)

COMMON OPEN AREA: REQUIRED COMMON OPEN AREA: 8,200 SQ. FT. PROVIDED COMMON OPEN AREA: 8,512 SQ. FT. BREAKDOWN: GROUND FLR. OPEN AREA: 1,687 SQ. FT. LOBBY OPEN AREA: 1,563 SQ. FT. PRIVATE BALC. OPEN AREA: 300 SQ. FT. ROOF TOP OPEN AREA: 4,962 SQ. FT. PROVIDED COMMON OPEN AREA: 8,512 SQ. FT.

LANDSCAPE AREA: NORTH / LEFT SIDE LANDSCAPE: 606 SQ. FT. WEST / FRONT LANDSCAPE: 2,489.5 SQ. FT. SOUTH / LEFT SIDE LANDSCAPE: 779 SQ. FT. EAST / RIGHT SIDE LANDSCAPE: 2,470 SQ. FT. TOTAL LANDSCAPE AREA: 6,344.5 SQ. FT. (ALONG FOOTHILL BLVD. & PLAINVIEW AVE.) PASSAGE AREA: 50' WIDE ZONING SETBACK:

Table with 7 columns: ZONE, REQUIRED FRONT SETBACK, PROVIDED FRONT SETBACK, REQUIRED SIDE SETBACK, PROVIDED SIDE SETBACK, REQUIRED REAR SETBACK, PROVIDED REAR SETBACK. Rows include C2-1, CR-1VL, and RD2-1 zones.

NOTE: NO PROPOSED BLDG. WITHIN RD2-1 ZONE

LEGAL DESCRIPTION

LOT 78, 79, 80, 81 AND PORT. LOTS 82, 83, 84, 85, 86, 87, 88, 89, & 90 OF TRACT NO. 3686, IN THE CITY OF LOS ANGELES COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 49, PAGE 50 OF THE PUBLIC RECORDS, IN THE OFFICE OF COUNTY CLERK OF SAID COUNTY. DOCUMENT #: 20150642785

CONSULTANTS

BLDG. DESIGNER: V J & ASSOCIATES 1224 E. BROADWAY, SUITE 202, GLENDALE, CA. 91205 TEL: 818-956-0570 FAX: 818-956-0571 EMAIL: varjan2@gmail.com STRUC'TL. ENGR.: CENTRAL ENGINEERING GROUP 2529 FOOTHILL BLVD., STE. 208, LA CRESCENTA, CA. 91214 TEL: 818-249-5595 FAX: 818-249-5554 EMAIL: cenrnlengr@aol.com LAND SURVEYOR: RAY LOMBERA & ASSOCIATES INC. 153 S JACKSON ST., STE. 202, GLENDALE, CA. 91205 TEL: 323-257-9771 FAX: 323-257-9865 EMAIL: WWW.RAYLOMBERA.COM

SHEET INDEX

Table with 2 columns: DRWG. NO. and DRAWING TITLE. Lists sheets A-0 through C-1 including Project Description, Site Plan, Floor Plans, Elevation Plans, and Landscape Plans.

PROJECT DESCRIPTION

PROJECT TITLE: PROPOSED 3-STORY 46-UNITS APARTMENT BUILDING ADDRESS: 7577 FOOTHILL BLVD., TUJUNGA, CA. 91042 OWNER: 7577 FOOTHILL, LLC C/O VAROUJ KEOSSIAN BUILDING CODE: COMPLY WITH 2019 CBC, CMC, CEC, CPC, CA. ENERGY CAL. GREEN CODE ALONG WITH 2020 LA COUNTY CODE PROJECT DATE: YEAR 2020 BUILDING ZONE: C2-1, CR-1VL & RD2-1 LOT AREA: 39,934 SQ. FT. DENSITY FOR C2-1 & CR-1VL: 34,194.4 / 400 = 85.49 DENSITY FOR RD2-1: 5,700.5 / 2,000 = 2.85 MAX. DENSITY: 88.34

TOTAL AREA OF EACH OCCUP. CL. / BLDG. STRUCTURE: BASEMENT FLOOR: BASEMENT ENTRY LOBBY FLOOR AREA: 871 SQ. FT. ENTRY PORCH: 505 SQ. FT. WALKS / STAIRS / ELEVATORS: 577 SQ. FT. STORAGE / ELEV. EQUIP.: 860 SQ. FT. TRASH / REC.: 266 SQ. FT. GARAGE FLOOR AREA: 23,187 SQ. FT. TOTAL BASEMENT FLOOR AREA: 27,421 SQ. FT.

FIRST FLOOR: FIRST FLOOR HABITABLE AREA: 19,235.5 SQ. FT. (UNITS) WALKS / STAIRS / ELEVATOR: 4,865.5 SQ. FT. FIRST FLR. LAUNDRY / TRASH SHOOT: 170 SQ. FT. TOTAL FIRST FLOOR (FLR. AREA): 24,271 SQ. FT. TOTAL FIRST FLR. BALCONY AREA: 1,297.5 SQ. FT.

SECOND FLOOR: SECOND FLOOR HABITABLE AREA: 19,235.5 SQ. FT. (UNITS) WALKS / CORRIDOR: 2,370 SQ. FT. SECOND FLR. LAUNDRY / TRASH SHOOT: 170 SQ. FT. TOTAL SECOND FLOOR (FLR. AREA): 21,775.5 SQ. FT. TOTAL SECOND FLR. BALCONY AREA: 1,205.5 SQ. FT.

THIRD FLOOR: THIRD FLOOR HABITABLE AREA: 19,175.5 SQ. FT. (UNITS) WALKS / CORRIDOR: 2,430 SQ. FT. THIRD FLR. LAUNDRY / TRASH SHOOT: 170 SQ. FT. TOTAL THIRD FLOOR (FLR. AREA): 21,775.5 SQ. FT. TOTAL THIRD FLR. BALCONY AREA: 1,205.5 SQ. FT.

OVERALL TOTAL HABITABLE FLR. AREA: 57,646.5 SQ. FT. (UNITS FLR. AREA) OVERALL TOTAL GROSS FLR. AREA: 67,822 SQ. FT. SEE SHT. A-0.4 FOR KEY PLAN / DIAGRAMS F.A.R. AVERAGE: 67,822 SQ. FT. / 39,934 SQ. FT. = 1.698% TOTAL BUILDABLE FLR. AREA: C2-1 & CR-1VL = 34,194.4 S.F. X 1.5 = 51,291.6 S.F. RD2-1 = 5,700.5 S.F. X 3 = 17,101.5 S.F. TOTAL BUILDABLE FLR.: 68,393.1 SQ. FT. AREA

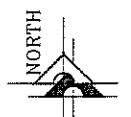
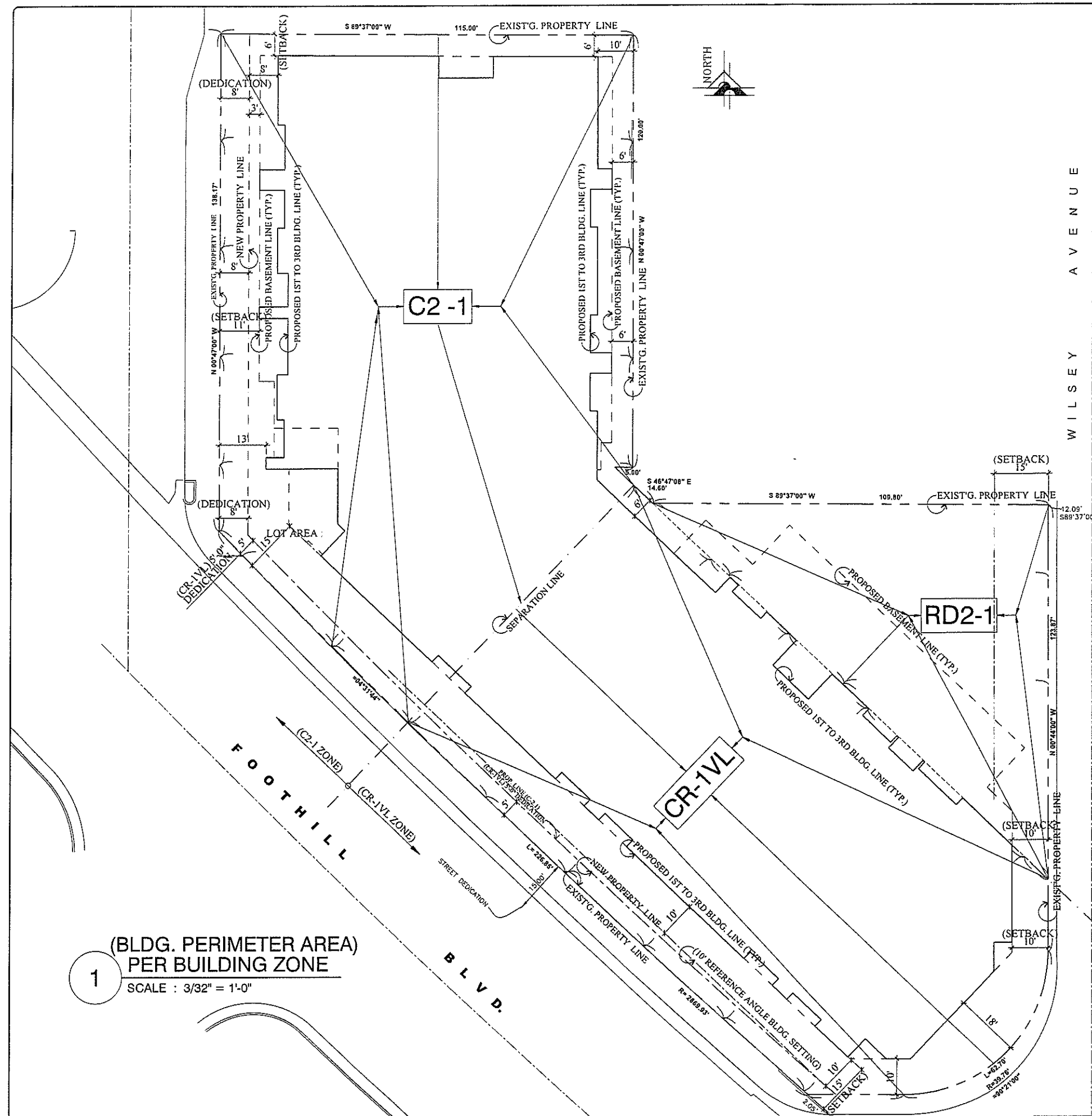
OCCUPANCY: R-2 / S-2 CONSTRUCTION: TYPE V-A & 1-B W/ SPRINKLERS AREA JUSTIFICATION PER CBC-503 & 506.3 R-2 OCCUPANCY ALLOWABLE AREA FOR TYPE V-A W/ SPRINKLER = 12,000 X 3 X 2 = 72,000 SQ. FT. TOTAL GROSS FLOOR AREA = 71,986 SQ. FT. < 72,000 SQ. FT. S-2 OCCUPANCY ALLOWABLE AREA FOR S-2 OCCUP. TYPE - 1 W/ SPRINKLER = UNLIMITED OR BASIC ALLOWABLE AREA FOR TYPE V-B = 13,500 X 3 = 40,500 SQ. FT. TOTAL PROPOSED FLOOR AREA = 27,300 SQ. FT. < 40,500 SQ. FT. OCCUPANCY SEPARATION: 1-HR. OCCUPANCY SEPARATION BETWEEN S-2 AND R-2 OCCUPANCY LOAD PER CBC TABLE 1004.12 R-2 OCCUPANCY: 71,944 SQ. FT. / 200 SQ. FT. = 359.72 S-2 OCCUPANCY: 27,208 SQ. FT. / 200 SQ. FT. = 136.04

Summary of Units Floor Area table. Columns: UNIT #, FIRST & 2ND FLR. AREA, THIRD FLR. AREA, TOTAL FIRST FLR. AREA. Lists units 1 through 16.

TYPE OF UNITS: 3 BEDS - 16 NOS. OF UNITS 2 BEDS - 17 NOS. OF UNITS 1 BED - 13 NOS. OF UNITS OVERALL TOTAL NOS. OF UNITS: 46 NOS. OF UNITS

PROPOSED BLDG. HEIGHT: 42'

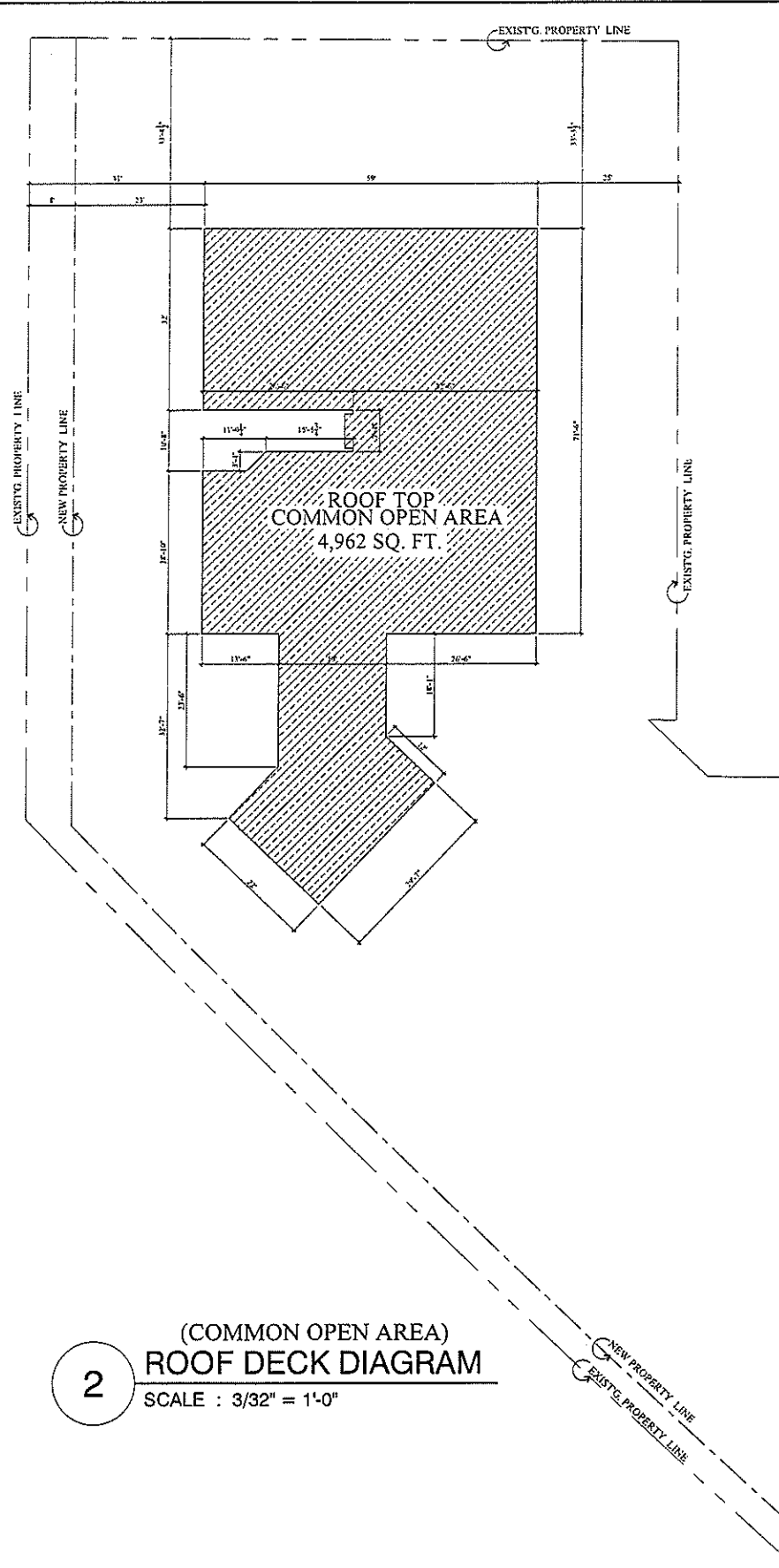
Vertical sidebar containing project title, drawing title, sheet number (A-0), scale (3/32" = 1' - 0"), and other project information.



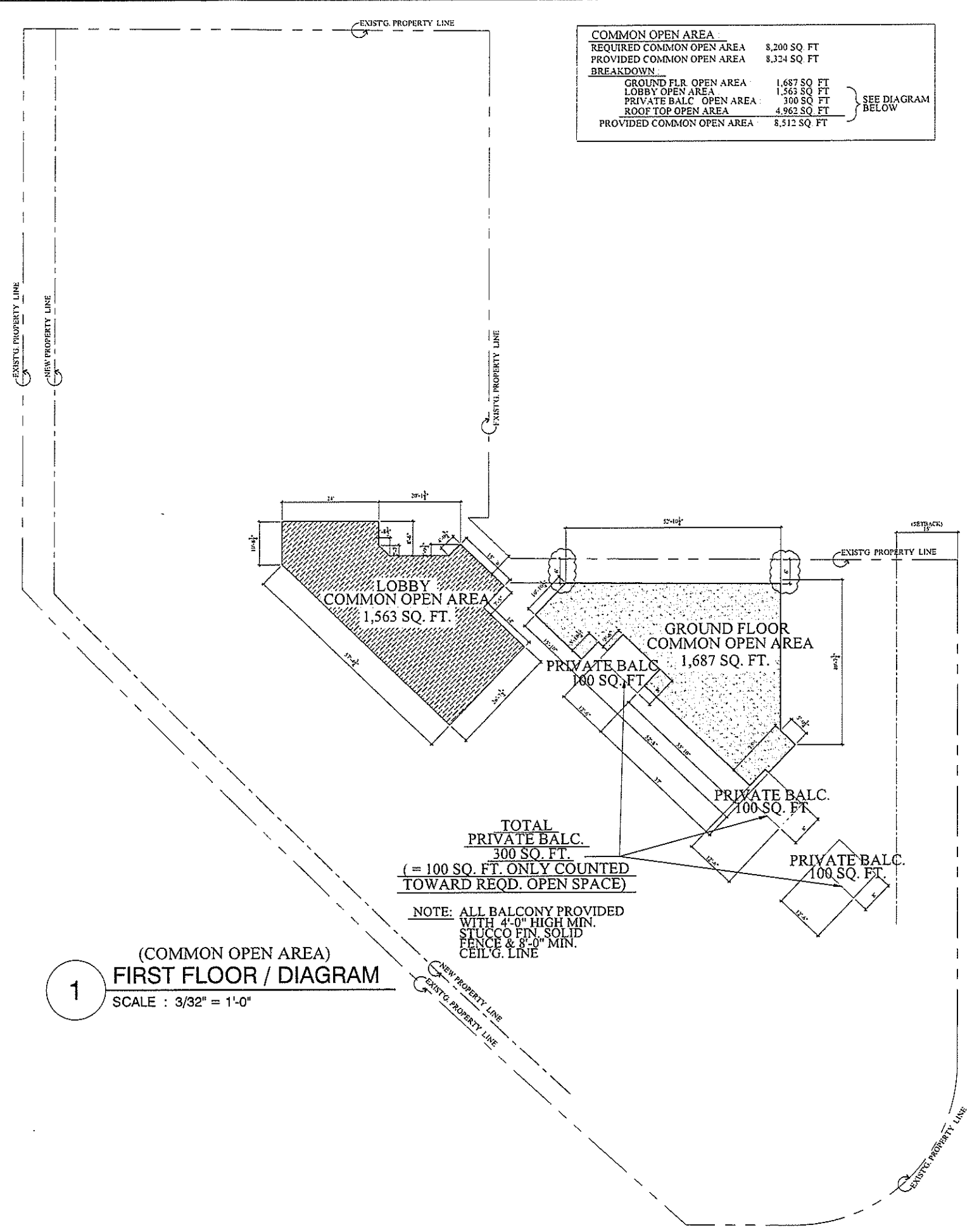
GENERAL NOTES :
 1 THE CONTRACTOR SHALL REVIEW AND VERIFY ALL SITE CONDITIONS, DRAWING DIMENSIONS AND ELEVATIONS BEFORE COMMENCING ANY PART OF THE WORK. COMPLETION OF WORK SHALL CONSTITUTE THE CONTRACTOR'S FULL ACCEPTANCE OF EXISTING SITE CONDITION AND PROPOSED PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULT OF ANY ERRORS, OMISSIONS OR DISCREPANCIES WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT BEFORE CONSTRUCTION FOR FABRICATION OF THE WORK.

1 (BLDG. PERIMETER AREA) PER BUILDING ZONE
 SCALE : 3/32" = 1'-0"

<p>ALL FIELD, DIMENSIONS, DIMENSIONS AND ELEVATIONS SHALL BE AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING ANY PART OF THE WORK. COMPLETION OF WORK SHALL CONSTITUTE THE CONTRACTOR'S FULL ACCEPTANCE OF EXISTING SITE CONDITION AND PROPOSED PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULT OF ANY ERRORS, OMISSIONS OR DISCREPANCIES WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT BEFORE CONSTRUCTION FOR FABRICATION OF THE WORK.</p>	
<p>V J & ASSOCIATES Building design • planning • interior</p>	
<p>1224 E. BROADWAY, SUITE 202, Glendale, CA 91205 (818) 958-0570</p>	
<p>PROPOSED 3-STORY 46-UNITS APARTMENT BUILDING</p>	
<p>PROJ. TITLE:</p>	<p>7577 W. FOOTHILL BLVD., TUNINGA, CA. 91042</p>
<p>PROJ. ADDR:</p>	<p>7577 W. FOOTHILL BLVD., TUNINGA, CA. 91042</p>
<p>OWNER:</p>	<p>7577 W. FOOTHILL BLVD., TUNINGA, CA. 91042</p>
<p>DRAWING TITLE: (BLDG. PERIMETER AREA) PER BUILDING ZONE</p>	
<p>DRAWN BY:</p>	<p>NEIL A. 07-27-21</p>
<p>DESIGNED BY:</p>	<p>V. J. 07-27-21</p>
<p>APPROVED BY:</p>	
<p>SCALE</p>	<p>3/32" = 1'-0"</p>
<p>SHEET NO</p>	<p>A-0.2</p>



2 (COMMON OPEN AREA)
ROOF DECK DIAGRAM
SCALE : 3/32" = 1'-0"



COMMON OPEN AREA	
REQUIRED COMMON OPEN AREA	8,200 SQ. FT.
PROVIDED COMMON OPEN AREA	8,324 SQ. FT.
BREAKDOWN	
GROUND FLR. OPEN AREA	1,687 SQ. FT.
LOBBY OPEN AREA	1,563 SQ. FT.
PRIVATE BALC. OPEN AREA	300 SQ. FT.
ROOF TOP OPEN AREA	4,962 SQ. FT.
PROVIDED COMMON OPEN AREA	8,512 SQ. FT.

SEE DIAGRAM BELOW

TOTAL PRIVATE BALC.
300 SQ. FT.
(= 100 SQ. FT. ONLY COUNTED TOWARD REQD. OPEN SPACE)

NOTE: ALL BALCONY PROVIDED WITH 4'-0" HIGH MIN. STUCCO FIN. SOLID FENCE & 8'-0" MIN. CEIL'G. LINE

1 (COMMON OPEN AREA)
FIRST FLOOR / DIAGRAM
SCALE : 3/32" = 1'-0"

GENERAL NOTES :
1 THE CONTRACTOR SHALL REVIEW AND VERIFY ALL SITE CONDITIONS, DRAWING DIMENSIONS AND RELATIONS BEFORE COMMENCING ANY PORTION OF THE WORK. COMMENCEMENT OF WORK SHALL CONSTITUTE THE CONTRACTOR'S FULL ACCEPTANCE OF EXISTING SITE CONDITIONS AND PROPOSED PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULT OF ANY ERRORS, OMISSIONS OR DISCREPANCIES WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT BEFORE CONSTRUCTION FOR FABRICATION OF THE WORK.

REVISIONS	BY

ALL BALCONY, TERRACES AND OTHER OUTDOOR AREAS SHALL BE PROVIDED WITH A MINIMUM 4'-0" HIGH STUCCO FIN. SOLID FENCE AND 8'-0" MIN. CEILING LINE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULT OF ANY ERRORS, OMISSIONS OR DISCREPANCIES WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT BEFORE CONSTRUCTION FOR FABRICATION OF THE WORK.

V J & ASSOCIATES
building design • planning • interior
1224 E. BROADWAY, SUITE 202,
Glendale, CA 91205
(818) 956-0570

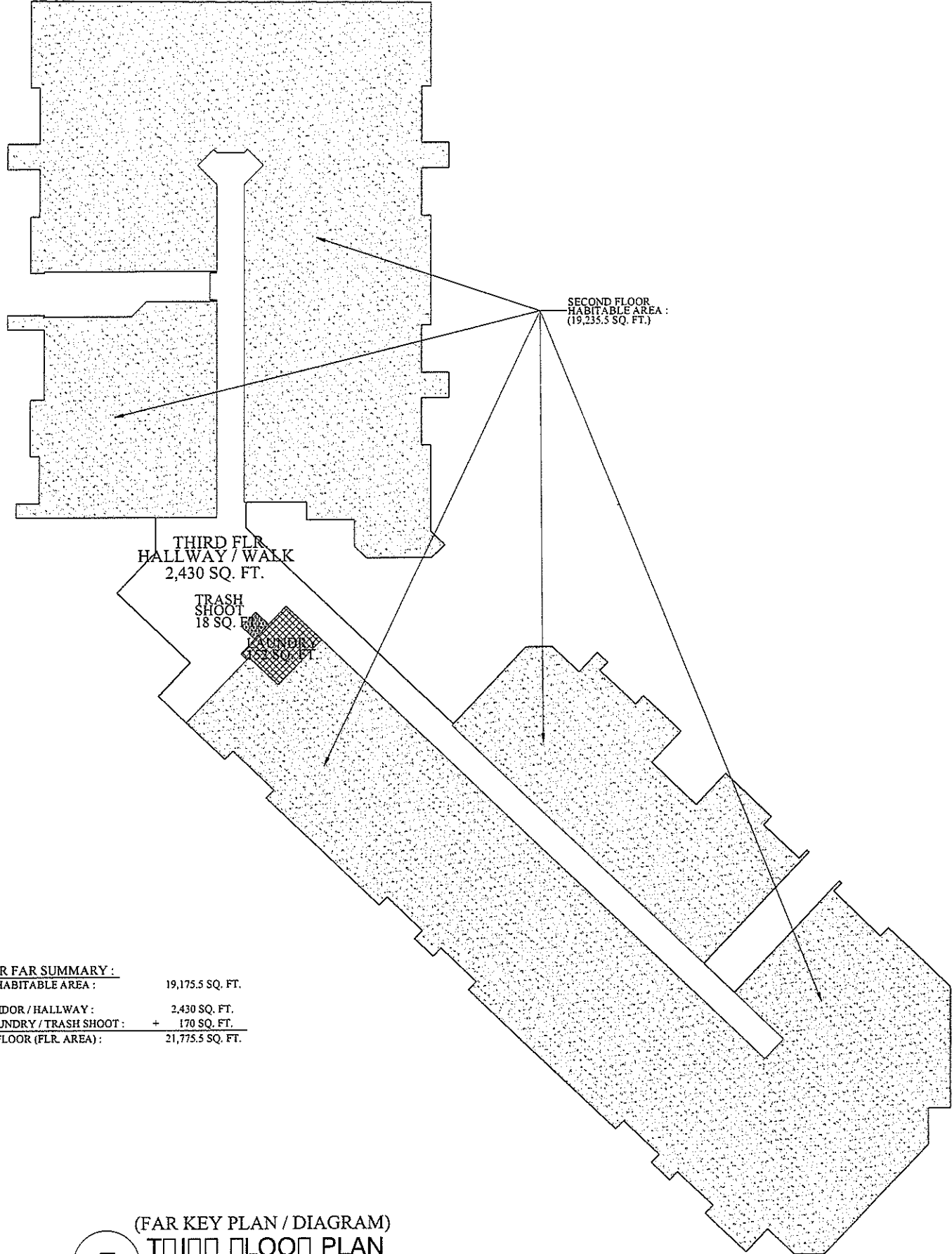
PROJ. TITLE: **PROPOSED 3-STORY 46-UNITS APARTMENT BUILDING**
PROJ. ADDR: 7577 W. FOOTHILL BLVD., TULUNGA, CA. 91042
OWNER: 7577 FOOTHILL LLC C/O VAROUI KEOSSIAN
7577 W. FOOTHILL BLVD., TULUNGA, CA 91042

DRAWING TITLE:
OPEN AREA DIAGRAM / FIRST FLOOR & ROOF DECK

DESIGNED BY	NEIL A.	10-15-21
CHECKED BY	V. J.	10-15-21
APPROVED BY		

SCALE 3/32" = 1'-0"

SHEET NO
A-0.3



THIRD FLOOR FAR SUMMARY:

THIRD FLOOR HABITABLE AREA: (UNITS)	19,175.5 SQ. FT.
WALKS / CORRIDOR / HALLWAY:	2,430 SQ. FT.
THIRD FLR. LAUNDRY / TRASH SHOOT:	+ 170 SQ. FT.
TOTAL THIRD FLOOR (FLR. AREA):	21,775.5 SQ. FT.

LOT AREA:	39,934 SQ. FT.
TOTAL FLOOR AREA RATIO:	
TOTAL FIRST FLOOR (FLR. AREA):	24,271 SQ. FT.
TOTAL SECOND FLOOR (FLR. AREA):	21,775.5 SQ. FT.
TOTAL THIRD FLOOR (FLR. AREA):	21,775.5 SQ. FT.
OVERALL TOTAL GROSS FLR. AREA:	67,822 SQ. FT.
F.A.R. AVERAGE: 67,822 SQ. FT. / 39,934 SQ. FT. = 1.698 %	

NOTE:
FOR HABITABLE ROOMS AREA SEE SHEET AD-1, AD-2 & AD-3

(FAR KEY PLAN / DIAGRAM)

 SCAL:

REVISIONS	BY

ALL SCALE, DIMENSIONS, MEASUREMENTS AND VOLUMES INDICATED OR IMPLICATED BY THIS DRAWING ARE TO BE TAKEN AS APPROXIMATE AND NOT TO BE USED FOR CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND VOLUMES IN THE FIELD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION.

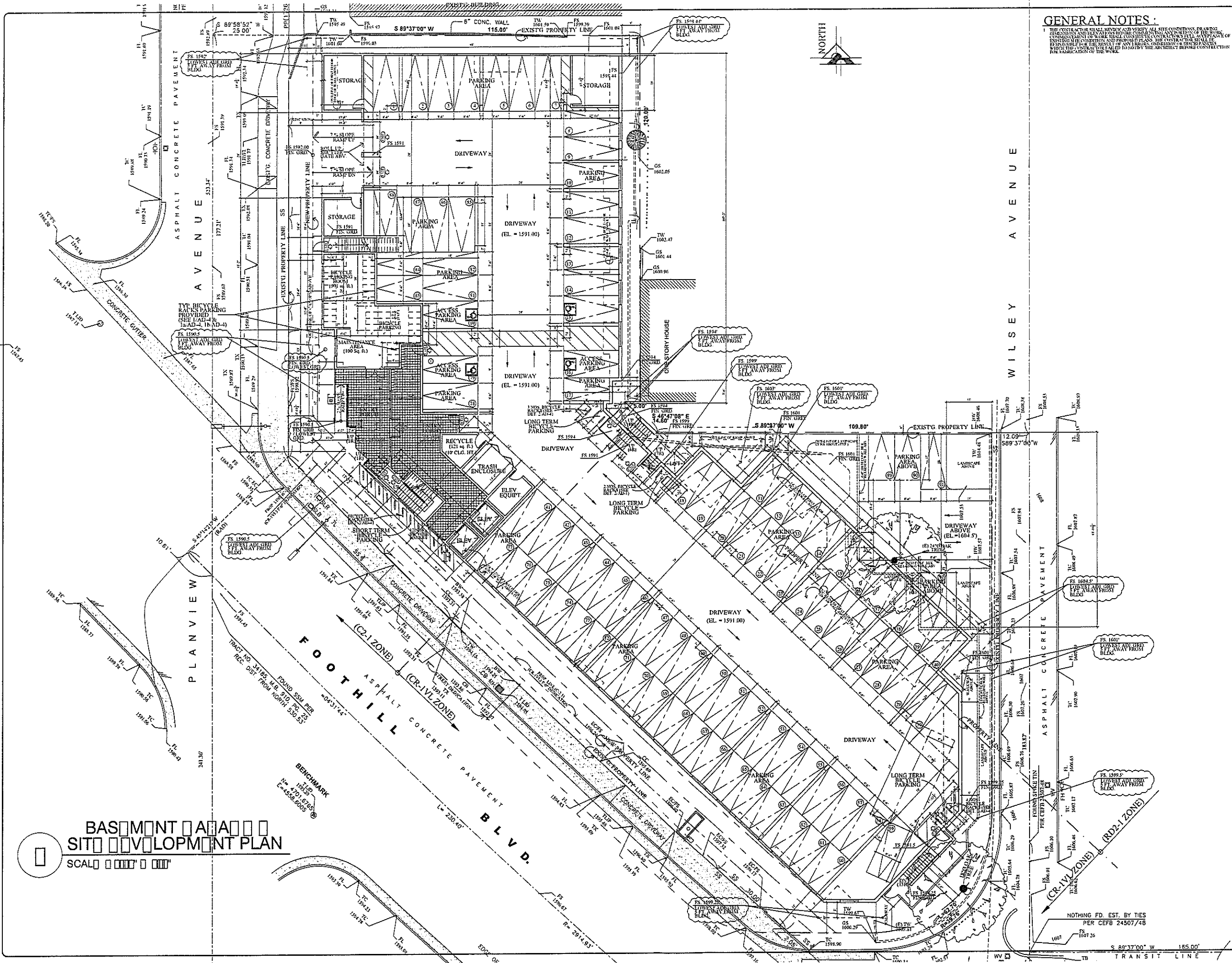
V J & ASSOCIATES
 building design • planning • interior

 1224 E. BROADWAY, SUITE 202,
 Glendale, CA 91205
 (818) 956-0570

PROPOSED 3-STORY 46-UNITS APARTMENT BUILDING
 PROJ. ADDR. 7577 W. FOOTHILL BLVD., TULIUNGA, CA. 91042
 OWNER: 7577 FOOTHILL, LLC C/O VAROUI KEOSSIAN
 1577 W FOOTHILL BLVD., TULIUNGA, CA 91042

DRAWING TITLE
F.A.R. KEY PLAN DIAGRAM (THIRD FLOOR)
TOTAL FLOOR AREA RATIO CALC.

DESIGNED BY	NEIL A.	08-05-21
CHECKED BY	V. J.	08-05-21
APPROVED BY		
SCALE	3/32" = 1'-0"	
SHEET NO.	A-0.5	

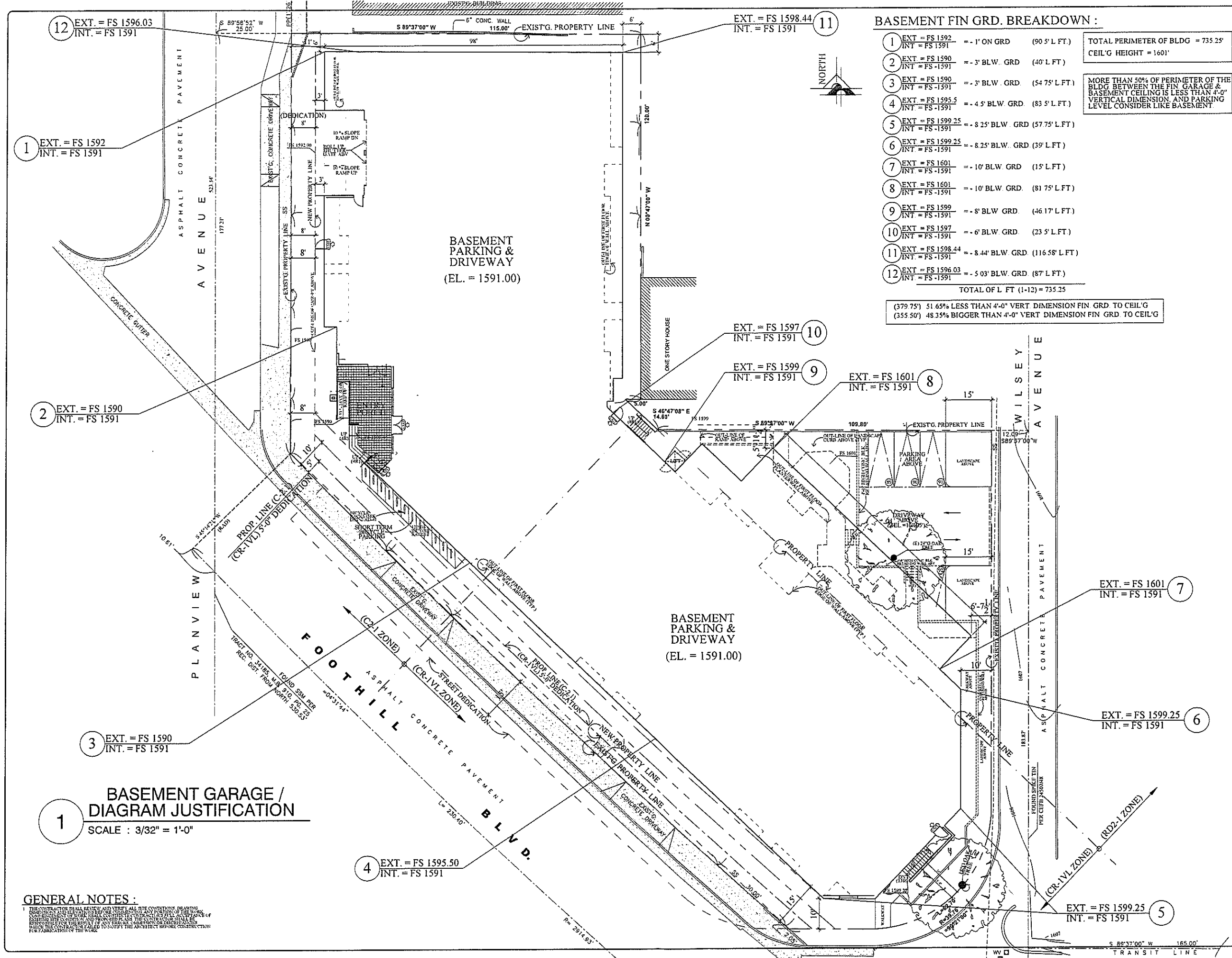


GENERAL NOTES:
 1. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS, DRAWING DIMENSIONS AND ELEVATIONS AND SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OBTAINING OF ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULTS OF ANY FIELD SURVEYS AND THE ACCURACY OF THE INFORMATION WHICH THE CONTRACTOR HAS OBTAINED FROM THE ARCHITECT'S RECORD DRAWINGS AND FIELD SURVEYS.

<p>THE ARCHITECT ASSOCIATES HAS BEEN SELECTED BY THE ARCHITECT TO PREPARE THE ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR THE PROPOSED PROJECT. THE ARCHITECT ASSOCIATES SHALL BE RESPONSIBLE FOR THE OBTAINING OF ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS. THE ARCHITECT ASSOCIATES SHALL BE RESPONSIBLE FOR THE RESULTS OF ANY FIELD SURVEYS AND THE ACCURACY OF THE INFORMATION WHICH THE ARCHITECT HAS OBTAINED FROM THE ARCHITECT'S RECORD DRAWINGS AND FIELD SURVEYS.</p>	
<p>V J & ASSOCIATES Building design • planning • interior</p>	
<p>1224 E. BROADWAY, SUITE 202, Glendale, CA 91205 (818) 956-0570</p>	
<p>PROJ. TITLE: PROPOSED 3-STORY 46-UNITS APARTMENT BUILDING</p>	
<p>PROJ. ADDR: 7577 W. FOOTHILL BLVD., TUNJUNGA, CA. 91042</p>	
<p>OWNER: 7577 FOOTHILL, LLC CO VARIOUS ASSOCIATES 7577 W. FOOTHILL BLVD., TUNJUNGA, CA. 91042</p>	
<p>DRAWING TITLE: BASEMENT GARAGE FLOOR PLAN / SITE DEVELOPMENT PLAN</p>	
<p>DRAWN BY: NEIL A.</p>	<p>08-17-21</p>
<p>DRAWN BY: V.J.</p>	<p>08-17-21</p>
<p>SCALE: 3/32" = 1' - 0"</p>	
<p>SHEET NO: A-1</p>	

BASEMENT GARAGE FLOOR PLAN / SITE DEVELOPMENT PLAN
 SCALE: 3/32" = 1' - 0"

NOTHING FD. EST. BY TIES
 PER CEFB 24567/48



BASEMENT FIN GRD. BREAKDOWN :

1	EXT = FS 1592 INT = FS 1591	= -1' ON GRD (90' L.F.T.)
2	EXT = FS 1590 INT = FS 1591	= -3' BLW. GRD (40' L.F.T.)
3	EXT = FS 1590 INT = FS 1591	= -3' BLW. GRD (54' 75" L.F.T.)
4	EXT = FS 1595.5 INT = FS 1591	= -4.5' BLW. GRD (83' 5" L.F.T.)
5	EXT = FS 1599.25 INT = FS 1591	= -8.25' BLW. GRD (57' 75" L.F.T.)
6	EXT = FS 1599.25 INT = FS 1591	= -8.25' BLW. GRD (39' L.F.T.)
7	EXT = FS 1601 INT = FS 1591	= -10' BLW. GRD (15' L.F.T.)
8	EXT = FS 1601 INT = FS 1591	= -10' BLW. GRD (81' 75" L.F.T.)
9	EXT = FS 1599 INT = FS 1591	= -8' BLW. GRD (46' 17" L.F.T.)
10	EXT = FS 1597 INT = FS 1591	= -6' BLW. GRD (23' 5" L.F.T.)
11	EXT = FS 1598.44 INT = FS 1591	= -8.44' BLW. GRD (116.58' L.F.T.)
12	EXT = FS 1596.03 INT = FS 1591	= -5.03' BLW. GRD (87' L.F.T.)
TOTAL OF L.F.T (1-12) = 735.25		

**TOTAL PERIMETER OF BLDG = 735.25'
CEIL'G HEIGHT = 1601'**

MORE THAN 50% OF PERIMETER OF THE BLDG BETWEEN THE FIN. GARAGE & BASEMENT CEILING IS LESS THAN 4'-0" VERTICAL DIMENSION AND PARKING LEVEL CONSIDER LIKE BASEMENT.

**(379.75') 51.65% LESS THAN 4'-0" VERT. DIMENSION FIN. GRD. TO CEIL'G
(355.50') 48.35% BIGGER THAN 4'-0" VERT. DIMENSION FIN. GRD. TO CEIL'G**

12 EXT. = FS 1596.03
INT. = FS 1591

11 EXT. = FS 1598.44
INT. = FS 1591

1 EXT. = FS 1592
INT. = FS 1591

2 EXT. = FS 1590
INT. = FS 1591

3 EXT. = FS 1590
INT. = FS 1591

1

**BASEMENT GARAGE /
DIAGRAM JUSTIFICATION**
SCALE : 3/32" = 1'-0"

4 EXT. = FS 1595.50
INT. = FS 1591

10 EXT. = FS 1597
INT. = FS 1591

9 EXT. = FS 1599
INT. = FS 1591

8 EXT. = FS 1601
INT. = FS 1591

7 EXT. = FS 1601
INT. = FS 1591

6 EXT. = FS 1599.25
INT. = FS 1591

5 EXT. = FS 1599.25
INT. = FS 1591

GENERAL NOTES :
1. THE CONTRACTOR SHALL REVIEW AND VERIFY ALL SITE CONDITIONS, DRAWINGS, PERMITS, AND REGULATIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES AND LANDSCAPE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING CURBS AND SIDEWALKS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING DRIVEWAYS AND PARKING AREAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SIGNAGE AND MARKINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES AND LANDSCAPE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING CURBS AND SIDEWALKS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING DRIVEWAYS AND PARKING AREAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SIGNAGE AND MARKINGS.

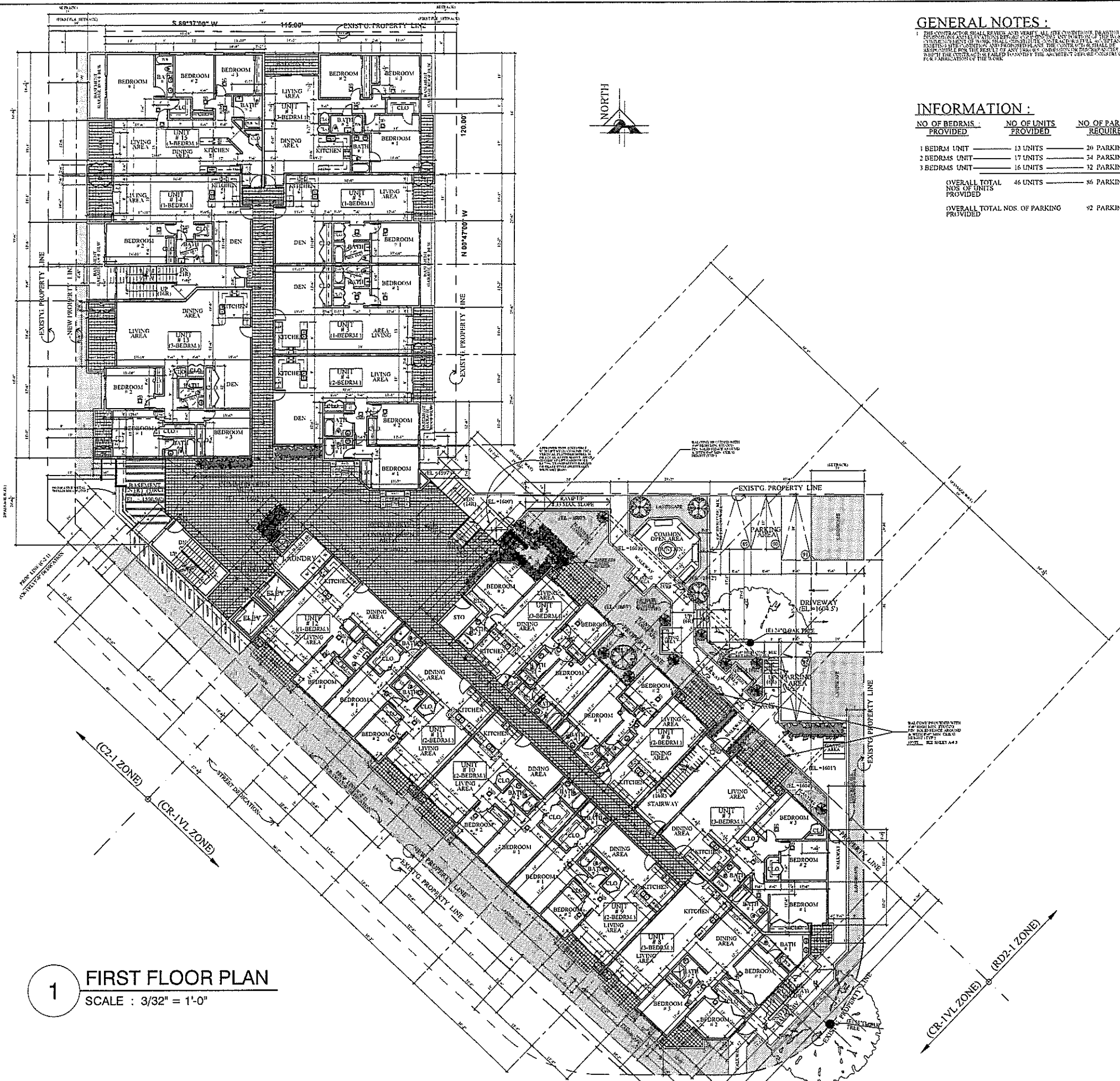
V J & ASSOCIATES
building design • planning • interior
1224 E. BROADWAY, SUITE 202,
Glendale, CA 91205
(818) 956-0570

**PROPOSED 3-STORY 46-UNITS
APARTMENT BUILDING**
PROJ. TITLE: 7577 W. FOOTHILL BLVD., TULUNGA, CA. 91042
PROJ. ADDR: 7577 W. FOOTHILL BLVD., TULUNGA, CA. 91042
OWNER: 7577 W. FOOTHILL, LLC CO VARIOUS KEOSSIAN

DRAWING TITLE:
BASEMENT GARAGE
(DIAGRAM JUSTIFICATION)

DATE: 07-28-21
DESIGNED BY: NEIL A.
CHECKED BY: V J
APPROVED BY:

SCALE: 3/32" = 1'-0"
SHEET NO:
A-1.1



GENERAL NOTES:

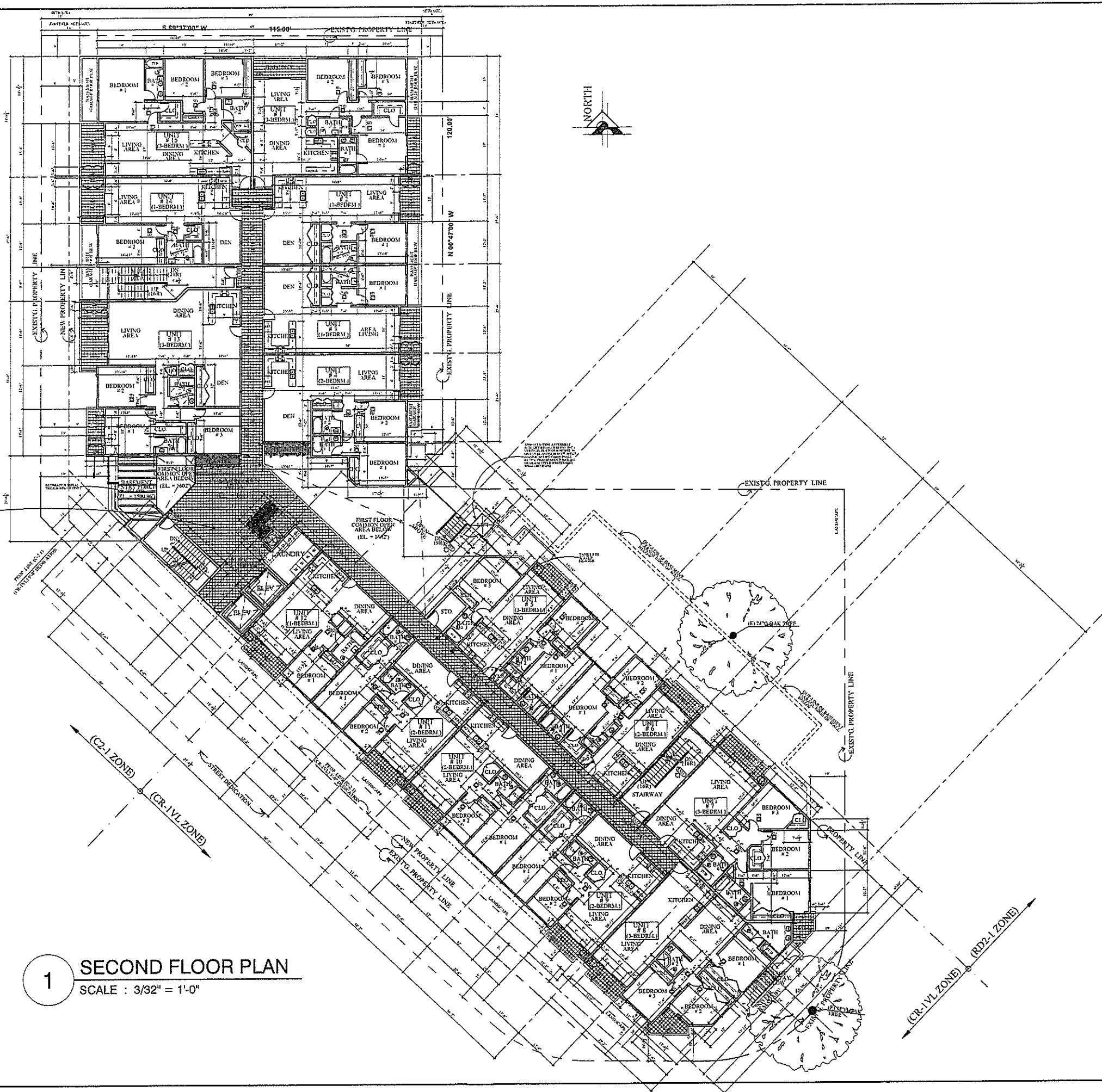
1. THE CONTRACTOR SHALL REVIEW AND VERIFY ALL THE CONDITIONS DRAWING AND FIELD BEFORE STARTING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION AND DATA PROVIDED HEREON. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION AND DATA PROVIDED HEREON. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION AND DATA PROVIDED HEREON.

INFORMATION:

NO OF BEDRMS PROVIDED	NO OF UNITS PROVIDED	NO OF PARKING REQUIRED
1 BEDRM UNIT	13 UNITS	20 PARKINGS
2 BEDRMS UNIT	17 UNITS	34 PARKINGS
3 BEDRMS UNIT	16 UNITS	32 PARKINGS
OVERALL TOTAL NOS OF UNITS PROVIDED	46 UNITS	86 PARKINGS
OVERALL TOTAL NOS. OF PARKING PROVIDED		92 PARKINGS

1 FIRST FLOOR PLAN
SCALE : 3/32" = 1'-0"

<p>V J & ASSOCIATES building design • planning • interior</p> <p>1224 E. BROADWAY, SUITE 202, Glendale, CA 91205 (818) 956-0570</p>	<p>PROPOSED 3-STORY 46-UNITS APARTMENT BUILDING</p> <p>PROJ. TITLE: PROPOSED 3-STORY 46-UNITS APARTMENT BUILDING</p> <p>PROJ. ADDR: 7577 W. FOOTHILL BLVD., TUIJUNGA, CA. 91042</p> <p>OWNER: 7577 FOOTHILL, LLC CO VABOUJ KEOSSIAN 7577 W. FOOTHILL, BLVD, TUIJUNGA, CA. 91042</p> <p>DRAWING TITLE: PROPOSED FIRST FLOOR PLAN</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">DRAWN BY</td> <td style="width: 50%;">NEIL A.</td> <td style="width: 50%;">DATE</td> <td style="width: 50%;">10-15-21</td> </tr> <tr> <td>CHECKED BY</td> <td>V J</td> <td>DATE</td> <td>10-15-21</td> </tr> <tr> <td>APPROVED BY</td> <td></td> <td></td> <td></td> </tr> </table> <p>SCALE: 3/32" = 1'-0"</p> <p>SHEET NO. A-2</p>	DRAWN BY	NEIL A.	DATE	10-15-21	CHECKED BY	V J	DATE	10-15-21	APPROVED BY			
DRAWN BY	NEIL A.	DATE	10-15-21										
CHECKED BY	V J	DATE	10-15-21										
APPROVED BY													



1 SECOND FLOOR PLAN
SCALE : 3/32" = 1'-0"

ALL SCALE, RECORD, REVISIONS AND PLANS REQUIRED OR REQUESTED BY THE OWNER ARE TO BE MADE BY THE ARCHITECT OR HIS ASSOCIATES. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THIS PLAN. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THIS PLAN. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THIS PLAN.

V J & ASSOCIATES
building design • planning • interior

1224 E. BROADWAY, SUITE 202,
Glendale, CA 91205
(818) 956-0570

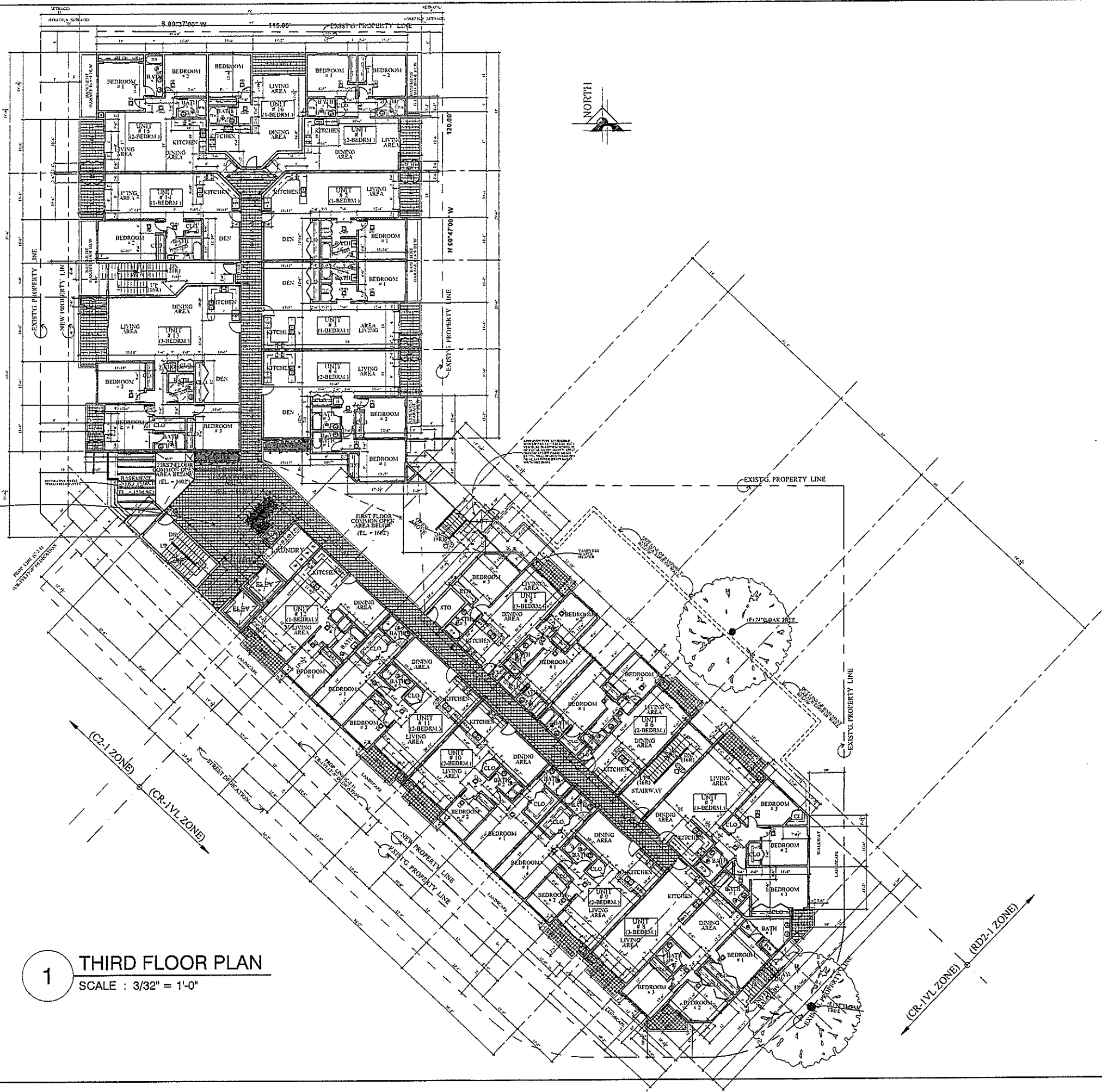
PROJECT TITLE: **PROPOSED 3-STORY 46-UNITS APARTMENT BUILDING**
PROJECT ADDRESS: 7577 W. FOOTHILL BLVD., TULINGA, CA. 91042
OWNER: 7577 FOOTHILL, LLC C/O VAROUI KEOSSIAN
7577 W. FOOTHILL BLVD., TULINGA, CA. 91042

DRAWING TITLE:
PROPOSED SECOND FLR. PLAN

DESIGNED BY:	NEIL A.	07-28-21
CHECKED BY:	V. J.	07-28-21
APPROVED BY:		

SCALE: 3/32" = 1'-0"
SHEET NO.

A-3



1 THIRD FLOOR PLAN
SCALE : 3/32" = 1'-0"

REVISION	NO.

ALL EXIST. CONDITIONS, DIMENSIONS AND FINISHES INDICATED OR REFERENCED BY THIS DRAWING ARE BASED ON THE PROPERTY OF J. A. ASSOCIATES INC. AND ARE NOT TO BE USED FOR ANY OTHER PROJECT. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND FINISHES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.

V J & ASSOCIATES
building design • planning • interior

1224 E. BROADWAY, SUITE 202,
 Glendale, CA 91205
 (818) 956-0570

PROJ. TITLE: **PROPOSED 3-STORY 46-UNITS APARTMENT BUILDING**

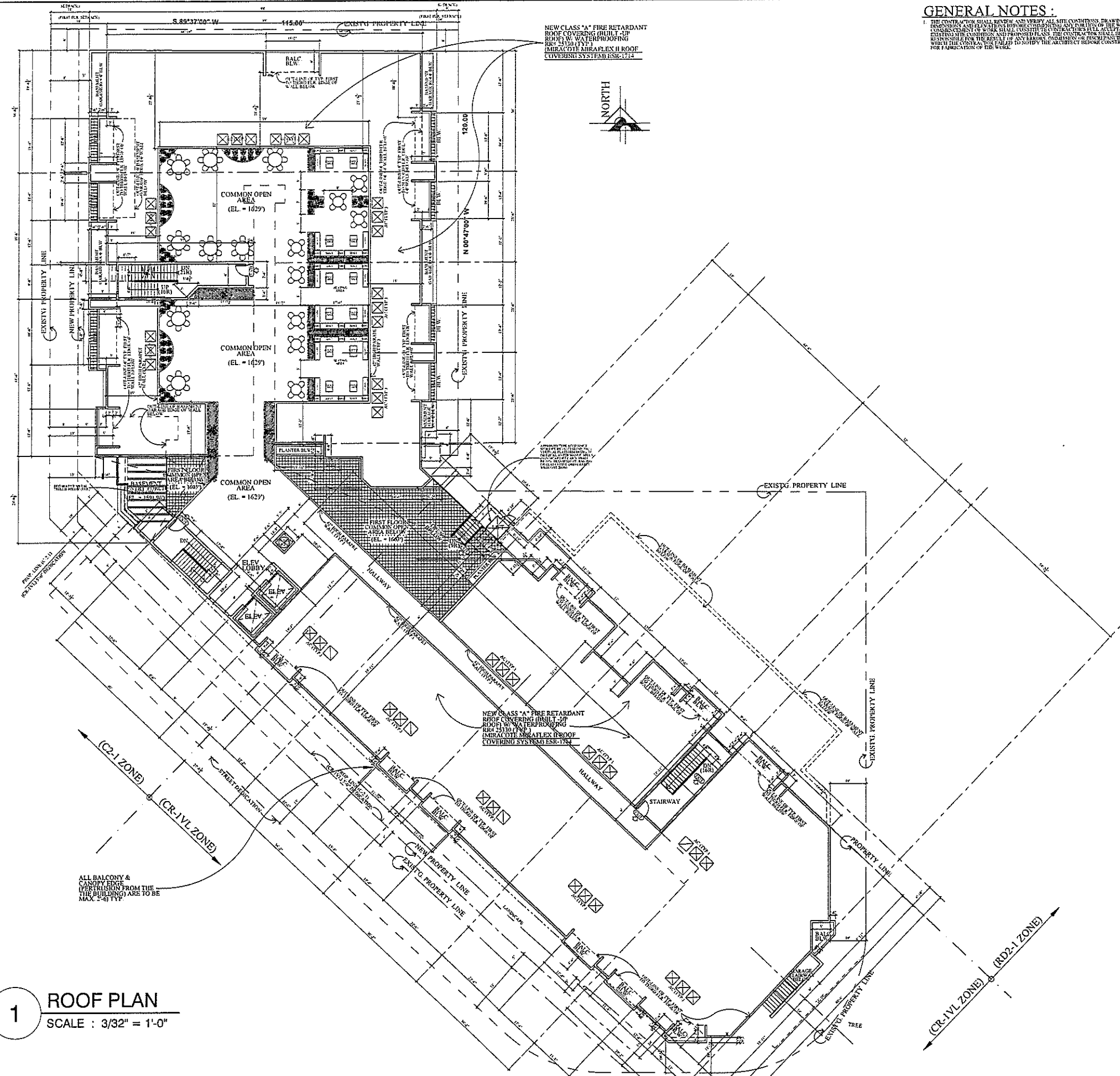
PROJ. ADDR: 7577 W. FOOTHILL BLVD., TUIJUNGA, CA. 91042

OWNER: 7577 FOOTHILL, LLC CO VAKOVIJ KEOSSIAN
 7577 W. FOOTHILL BLVD., TUIJUNGA, CA 91042

DRAWING TITLE
PROPOSED THIRD FLR. PLAN

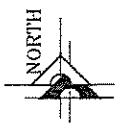
DRAWN BY	NEIL A.	07-28-21
CHECKED BY	V. J.	07-28-21
APPROVED BY		

SCALE 3/32" = 1'-0"
 SHEET NO
A-3.1



GENERAL NOTES:
 1. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS, DRAWING DIMENSIONS AND MATERIALS BEFORE CONSTRUCTION AND FURNISH OF THE WORK. COMPLETION OF WORK SHALL BE SUBJECT TO THE CONTRACTOR'S FULL ACCEPTANCE OF THE EXISTING CONDITIONS AND PROPOSED PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULT OF ANY LABORER, CONTRACTOR OR OTHER PARTY'S WORK WITHIN THE CONTRACTOR'S FIELD TO NOTIFY THE ARCHITECT BEFORE CONSTRUCTION FOR FURNICATION OF THE WORK.

NEW CLASS "A" FIRE RETARDANT ROOF COVERING (BUILT-UP ROOF) W/ WATERPROOFING (MERCOTECH MIA/FLEX II ROOF COVERING SYSTEM) ESC-1714



1 ROOF PLAN
 SCALE : 3/32" = 1'-0"

REVISION	BY

ALL REAL, DESIGN, ARCHITECTURE AND PLANS PREPARED OR REPRODUCED BY THE ARCHITECT SHALL BE THE PROPERTY OF V. J. & ASSOCIATES. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF V. J. & ASSOCIATES. ANY UNAUTHORIZED REPRODUCTION OR TRANSMISSION OF THIS DOCUMENT IS PROHIBITED AND WILL BE SUBJECT TO LEGAL ACTION.

V J & ASSOCIATES
building design • planning • interior

1224 E. BROADWAY, SUITE 202,
 Glendale, CA 91205
 (818) 956-0570

PROJ. TITLE: PROPOSED 3-STORY 46-UNITS APARTMENT BUILDING

PROJ. ADDR: 7577 W. FOOTHILL BLVD., TULUNGA, CA. 91042

OWNER: 7577 W. FOOTHILL BLVD., TULUNGA, CA 91042

DRAWING TITLE: PROPOSED ROOF PLAN

DESIGNED BY:	NEIL A.	08-27-21
DRAWN BY:	V. J.	08-27-21
CHECKED BY:		
APPROVED BY:		
SCALE:	3/32" = 1'-0"	
SHEET NO.:		

A-4



1 WEST BLDG. ELEVATION
SCALE : 3/32" = 1'-0"



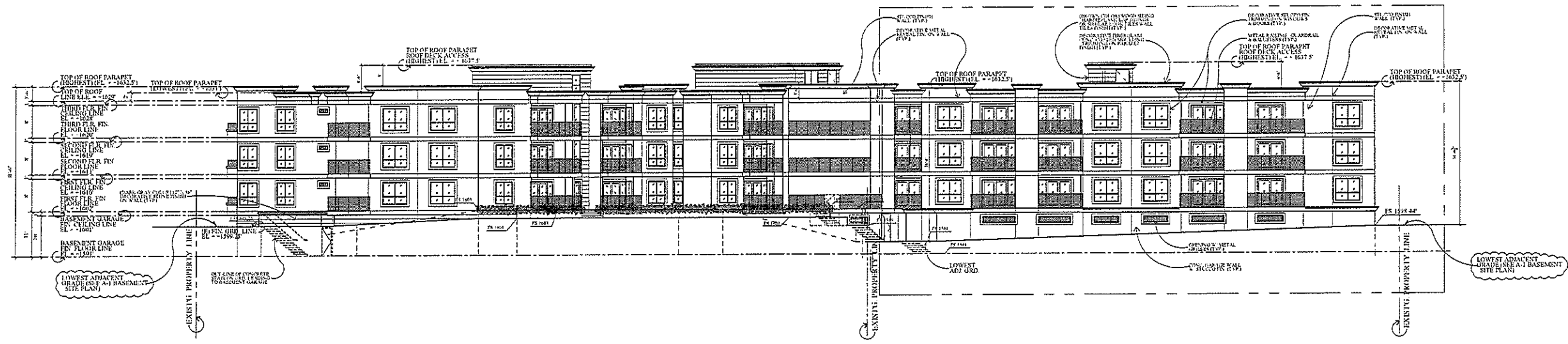
2 SOUTH WEST BLDG. ELEVATION
SCALE : 3/32" = 1'-0"

ALL SPECIFICATIONS, MATERIALS AND FINISHES FOR THIS PROJECT ARE BASED ON THE 2019 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE 2018 INTERNATIONAL BUILDING CODE (IBC). THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND DOCUMENTATION OF THE PROJECT AS SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED BY THE CLIENT AND FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY CONSEQUENCES ARISING FROM THE CONTRACTOR'S FAILURE TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION.

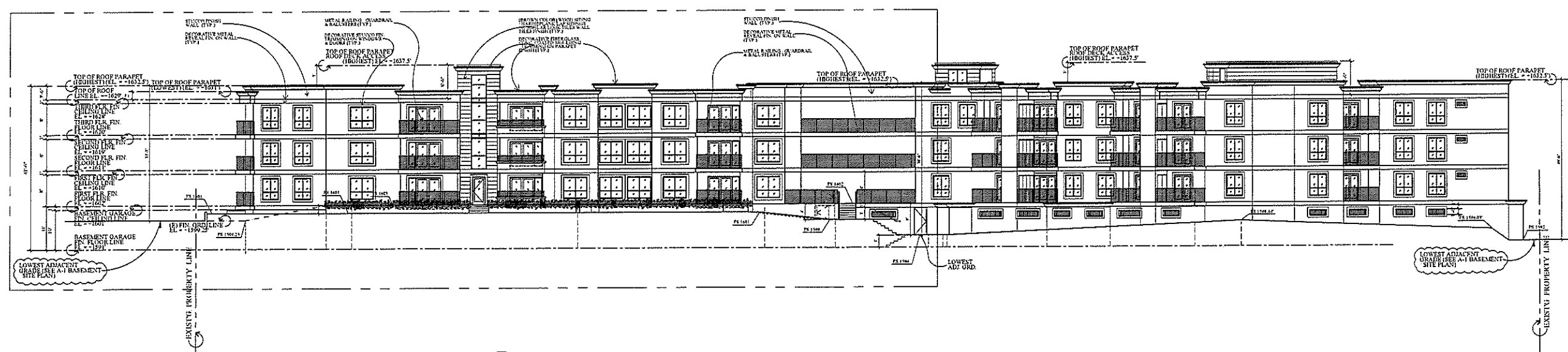
V J & ASSOCIATES
Architect • Designer • Interior
1224 E. BROADWAY, SUITE 202
Glendale, CA 91205
(818) 956-0570

PROPOSED 3-STORY 63-UNITS APARTMENT BUILDING
DRAWING TITLE: BUILDING ELEVATIONS
PROJ. TITLE: PROPOSED 3-STORY 63-UNITS APARTMENT BUILDING
PROJ. ADDR: 7577 W. FOOTHILL BLVD., TUJUNGA, CA. 91042
OWNER: 7577 FOOTHILL, LLC (CO-OWNERS) KEISSIAN
7577 W. FOOTHILL BLVD., TUJUNGA, CA. 91042

DESIGNED BY: NEIL A. 06-25-20
CONSULTED BY: V. J. 06-25-20
APPROVED BY:
SCALE: 3/32" = 1'-0"
SHEET NO: **A-5.1**



1 EAST BLDG. ELEVATION
SCALE : 3/32" = 1'-0"



2 NORTH EAST BLDG. ELEVATION
SCALE : 3/32" = 1'-0"

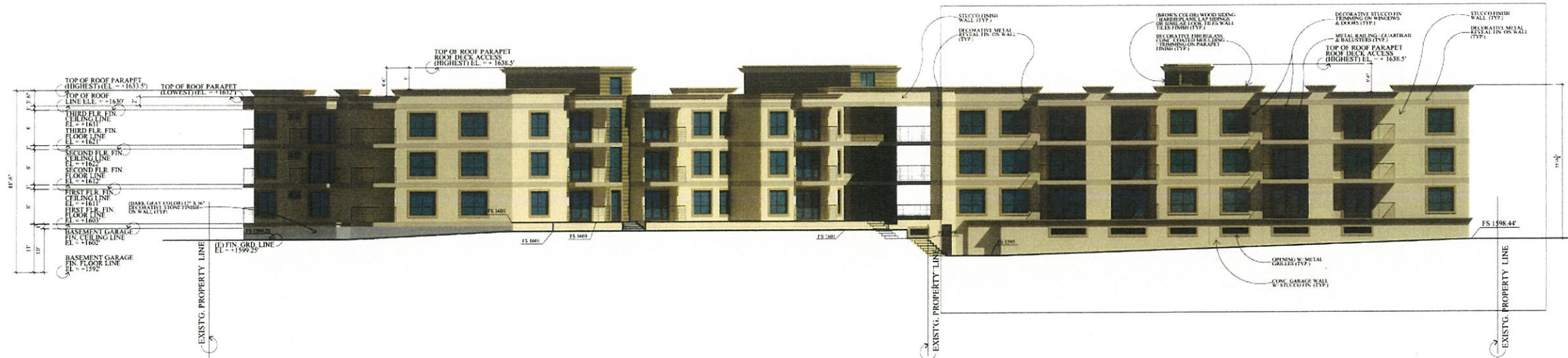
ALL ELEVATIONS, SECTIONS AND DETAILS ARE TO BE CONSIDERED AS REPRESENTATIVE OF THE DESIGN AND CONSTRUCTION OF THE PROJECT AS SHOWN ON THESE PLANS. ANY CHANGES TO THE DESIGN OR CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

V J & ASSOCIATES
Building design • planning • interior
1224 E. BROADWAY, SUITE 202,
Glendale, CA 91205
(818) 956-0570

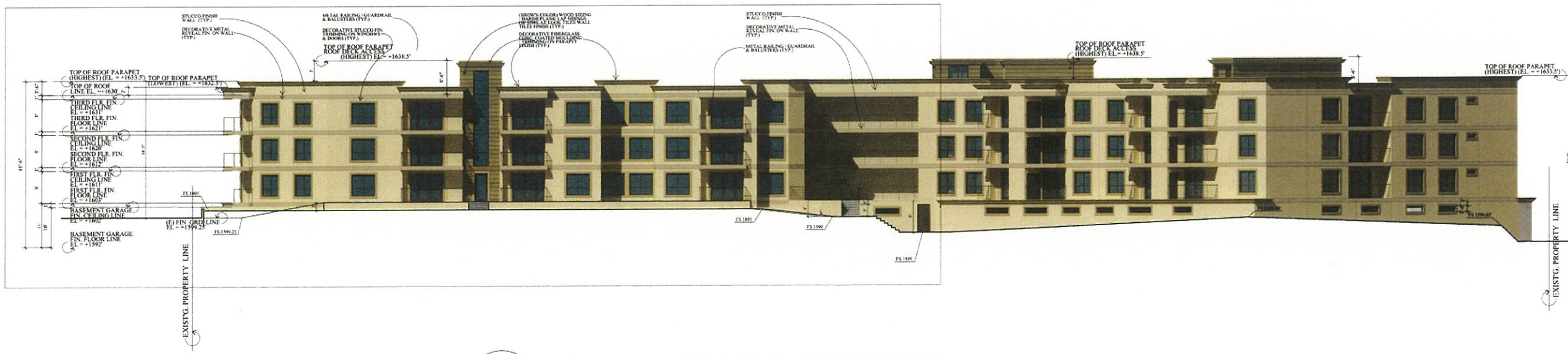
**PROPOSED 3-STORY 46-UNITS
APARTMENT BUILDING**
PROJ. TITLE: 7577 W. FOOTHILL BLVD., TUNJUNGA, CA. 91042
PROJ. ARCH: 7577 W. FOOTHILL BLVD., TUNJUNGA, CA. 91042
OWNER: 7577 W. FOOTHILL BLVD., TUNJUNGA, CA. 91042

DRAWING TITLE:
BUILDING ELEVATIONS

DESIGNED BY	NEIL A.	DATE	08-17-21
CHECKED BY	V. J.	DATE	08-17-21
APPROVED BY			
SCALE	3/32" = 1'-0"		
SHEET NO.	A-6		

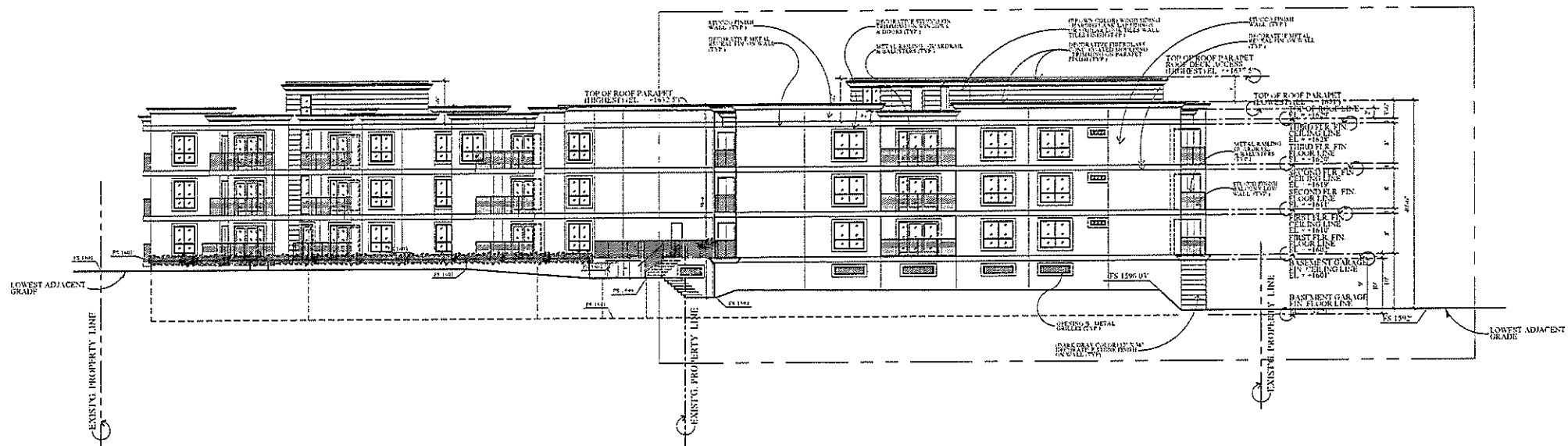


1 EAST BLDG. ELEVATION
SCALE : 3/32" = 1'-0"




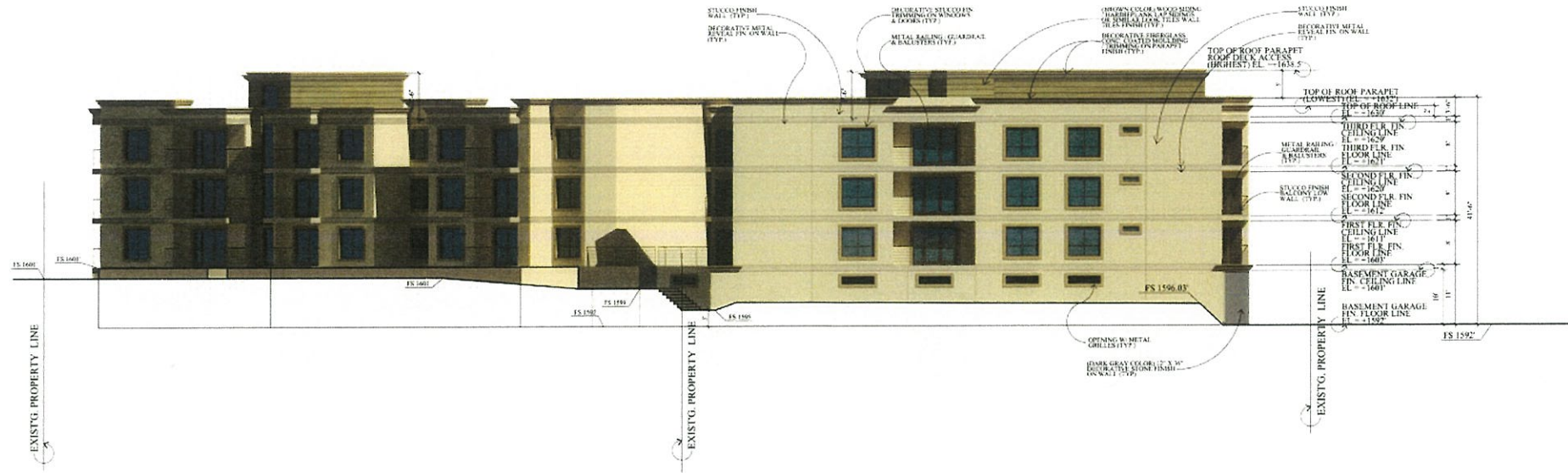
2 NORTH EAST BLDG. ELEVATION
SCALE : 3/32" = 1'-0"

<p>V J & ASSOCIATES building design • planning • interior</p> <p>1224 E. BROADWAY, SUITE 202, Glendale, CA 91205 (818) 956-0570</p>	
<p>PROPOSED 3-STORY 46-UNITS APARTMENT BUILDING</p> <p>PROJ. TITLE: 7577 W. FOOTHILL BLVD., TULUNGA, CA. 91042 PROJ. ADDR: 7577 W. FOOTHILL BLVD., TULUNGA, CA. 91042 OWNER: 7577 FOOTHILL, LLC CO VABOUJ KHOSSIAN</p>	
<p>DRAWING TITLE: BUILDING ELEVATIONS</p>	
<p>DESIGNED BY: NEIL A.</p>	<p>DATE: 10-14-20</p>
<p>CHECKED BY: V. J.</p>	<p>DATE: 10-14-20</p>
<p>SCALE: 3/32" = 1'-0"</p>	
<p>SHEET NO: A-6.1</p>	



1 NORTH BLDG. ELEVATION
SCALE : 3/32" = 1'-0"

<p>ALL SCALE, MATERIALS AND FINISHES TO BE SHOWN ON ELEVATIONS TO BE CHECKED BY THE ARCHITECT AND THE PROPERTY OWNER. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE BUILDING. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF ANY OTHER WORKS SHOWN ON THIS DRAWING. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE BUILDING. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF ANY OTHER WORKS SHOWN ON THIS DRAWING.</p>	
<p>V J & ASSOCIATES  building design • planning • interior 1224 E. BROADWAY, SUITE 202, Glendale, CA 91205 (818) 956-0570</p>	
<p>PROPOSED 3-STORY 46-UNITS APARTMENT BUILDING PROJ. NO. 7577 W. FOOTHILL BLVD., TUIJUNGA, CA. 91042 OWNER: 7577 FOOTHILL, LLC C/O VAROUJ KEOSSIAN 7577 W. FOOTHILL BLVD., TUIJUNGA, CA 91042</p>	
<p>DRAWING TITLE BUILDING ELEVATIONS</p>	
<p>DRAWN BY NEIL A.</p>	<p>DATE 07-28-21</p>
<p>CHECKED BY V. J.</p>	<p>DATE 07-28-21</p>
<p>SCALE 3/32" = 1'-0"</p>	
<p>REV. NO.</p>	
<p>A-7</p>	



1 NORTH BLDG. ELEVATION
SCALE : 3/32" = 1'-0"

REVISIONS	NO.

ALL FINAL DESIGN, MANUFACTURING AND FINISH REQUIREMENTS SHALL BE SUBJECT TO THE APPROVATION OF THE LOCAL AGENCIES. MANUFACTURERS AND FINISHES SHALL BE SELECTIONS MADE BY THE ARCHITECT AND SHALL BE SUBJECT TO THE APPROVATION OF THE LOCAL AGENCIES. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES.

V J & ASSOCIATES
building design • planning • interior

1224 E. BROADWAY, SUITE 202,
 Glendale, CA 91205
 (818) 956-0570

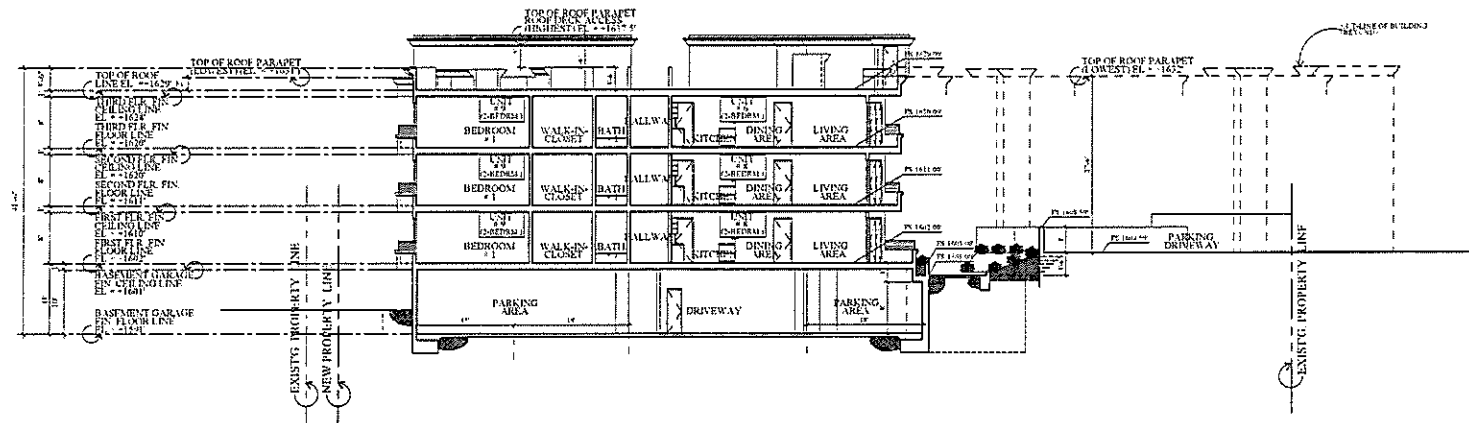
PROJ. TITLE: PROPOSED 3-STORY 46-UNITS APARTMENT BUILDING

PROJ. ADDR: 7577 W. FOOTHILL BLVD., TULUNGA, CA. 91042

OWNER: 7577 FOOTHILL, LLC C/O VAROLIJ KROSSIAN
 7577 W. FOOTHILL BLVD., TULUNGA, CA. 91042

DRAWING TITLE:
BUILDING ELEVATIONS

DRAWN BY	NEIL A.	10-14-20
CHECKED BY	V. J.	10-14-20
APPROVED BY		
SCALE	3/32" = 1'-0"	
SHEET NO.	A-7.1	



1 BUILDING SECTION
SCALE : 3/32" = 1'-0"

REVISION	BY

THIS DRAWING, SPECIFICATIONS AND ALL NOTES ARE HEREBY APPROVED BY THE ARCHITECT, V. J. & ASSOCIATES, INC., AND SHALL BE CONSIDERED THE BASIS FOR THE CONTRACT. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN OF THE BUILDING AS SHOWN ON THIS DRAWING. THE ARCHITECT DOES NOT WARRANT OR GUARANTEE THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHERS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION DEFECTS, OMISSIONS, OR DELAYS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY COSTS INCURRED BY THE OWNER OR CONTRACTOR. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY VIOLATIONS OF ANY APPLICABLE LAWS, REGULATIONS, OR ORDINANCES. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY INADEQUACIES OF ANY MATERIALS OR WORKMANSHIP. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY UNREASONABLE COSTS INCURRED BY THE OWNER OR CONTRACTOR. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY UNREASONABLE DELAYS INCURRED BY THE OWNER OR CONTRACTOR. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY UNREASONABLE RISKS INCURRED BY THE OWNER OR CONTRACTOR. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY UNREASONABLE DAMAGES INCURRED BY THE OWNER OR CONTRACTOR. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY UNREASONABLE CONSEQUENCES INCURRED BY THE OWNER OR CONTRACTOR. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY UNREASONABLE RESULTS INCURRED BY THE OWNER OR CONTRACTOR. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY UNREASONABLE OUTCOMES INCURRED BY THE OWNER OR CONTRACTOR. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY UNREASONABLE SITUATIONS INCURRED BY THE OWNER OR CONTRACTOR. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY UNREASONABLE CIRCUMSTANCES INCURRED BY THE OWNER OR CONTRACTOR. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY UNREASONABLE CONDITIONS INCURRED BY THE OWNER OR CONTRACTOR. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY UNREASONABLE FACTORS INCURRED BY THE OWNER OR CONTRACTOR. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY UNREASONABLE INFLUENCES INCURRED BY THE OWNER OR CONTRACTOR. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY UNREASONABLE INTERFERENCES INCURRED BY THE OWNER OR CONTRACTOR. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY UNREASONABLE OBSTACLES INCURRED BY THE OWNER OR CONTRACTOR. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY UNREASONABLE HINDRANCES INCURRED BY THE OWNER OR CONTRACTOR. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY UNREASONABLE IMPEDIMENTS INCURRED BY THE OWNER OR CONTRACTOR. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY UNREASONABLE OBSTACLES INCURRED BY THE OWNER OR CONTRACTOR. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY UNREASONABLE HINDRANCES INCURRED BY THE OWNER OR CONTRACTOR. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY UNREASONABLE IMPEDIMENTS INCURRED BY THE OWNER OR CONTRACTOR.

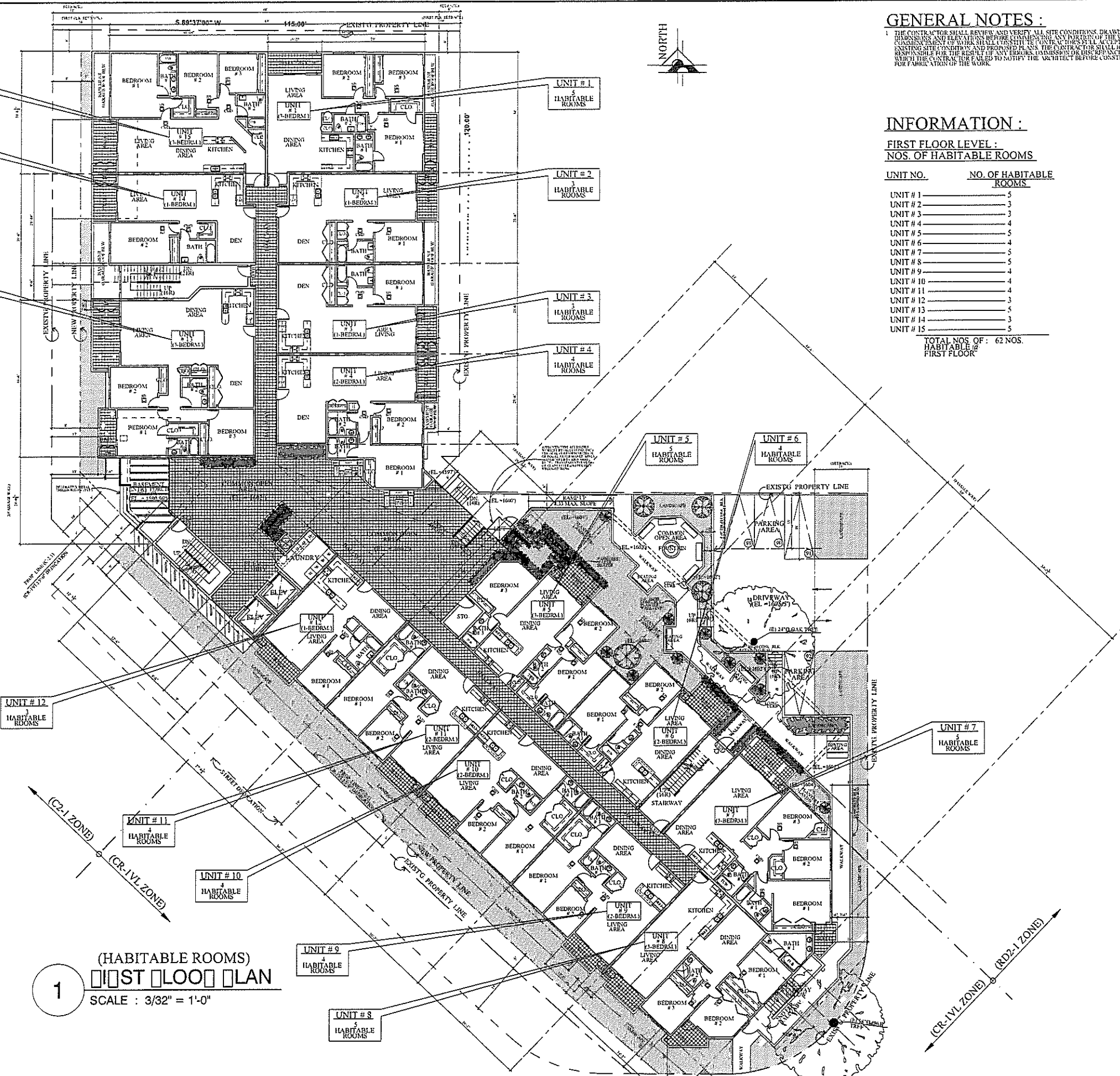
V J & ASSOCIATES
building design • planning • interior

1224 E. BROADWAY, SUITE 202,
Glendale, CA 91205
(818) 956-0570

PROJ. TITLE: **PROPOSED 3-STORY 63-UNITS APARTMENT BUILDING**
PROJ. ADDR: 7577 W. FOOTHILL BLVD., TUIJUNGA, CA. 91042
OWNER: 7577 FOOTHILL, LLC C/O VARGOU KEOSSIAN
7577 W. FOOTHILL, BLVD., TUIJUNGA, CA. 91042

DRAWING TITLE:
BUILDING SECTIONS

DRAWN BY	NEIL A.	07-28-21
CHECKED BY	V. J.	07-28-21
APPROVED BY		
SCALE	3/32" = 1'-0"	
SHEET NO.	A-8	



GENERAL NOTES :

1. THE CONTRACTOR SHALL REVIEW AND VERIFY ALL SITE CONDITIONS, DRAWING DIMENSIONS AND ELEVATIONS BEFORE COMMENCING ANY PORTION OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULT OF ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE CONTRACTOR'S OBLIGATION TO NOTIFY THE ARCHITECT BEFORE CONSTRUCTION FOR FABRICATION OF THE WORK.

INFORMATION :

**FIRST FLOOR LEVEL :
NOS. OF HABITABLE ROOMS**

UNIT NO.	NO. OF HABITABLE ROOMS
UNIT # 1	5
UNIT # 2	3
UNIT # 3	3
UNIT # 4	4
UNIT # 5	5
UNIT # 6	4
UNIT # 7	5
UNIT # 8	5
UNIT # 9	4
UNIT # 10	4
UNIT # 11	4
UNIT # 12	3
UNIT # 13	3
UNIT # 14	3
UNIT # 15	5

TOTAL NOS. OF : 62 NOS.
HABITABLE ROOMS
FIRST FLOOR

FIRST FLR. HABITABLE AREA :

UNIT # 1 :	1,555 SQ. FT.
UNIT # 2 :	1,023 SQ. FT.
UNIT # 3 :	1,048.5 SQ. FT.
UNIT # 4 :	1,338 SQ. FT.
UNIT # 5 :	1,342 SQ. FT.
UNIT # 6 :	993 SQ. FT.
UNIT # 7 :	1,477 SQ. FT.
UNIT # 8 :	1,515 SQ. FT.
UNIT # 9 :	1,199.5 SQ. FT.
UNIT # 10 :	1,199.5 SQ. FT.
UNIT # 11 :	1,199.5 SQ. FT.
UNIT # 12 :	903 SQ. FT.
UNIT # 13 :	1,869 SQ. FT.
UNIT # 14 :	1,026.5 SQ. FT.
UNIT # 15 :	1,547 SQ. FT.
TOTAL FIRST FLR. HABITABLE AREA	19,235.5 SQ. FT.

**FIRST FLOOR LEVEL :
NOS. OF BEDROOMS**

UNIT NO.	NO. OF BEDROOMS
UNIT # 1	3
UNIT # 2	1
UNIT # 3	1
UNIT # 4	2
UNIT # 5	3
UNIT # 6	2
UNIT # 7	3
UNIT # 8	3
UNIT # 9	2
UNIT # 10	2
UNIT # 11	2
UNIT # 12	1
UNIT # 13	3
UNIT # 14	1
UNIT # 15	3

TOTAL NOS. OF : 32 NOS.
BEDROOMS @
FIRST FLOOR

(HABITABLE ROOMS)
1 ST FLOOR PLAN
SCALE : 3/32" = 1'-0"

ALL DIMENSIONS, UNLESS OTHERWISE SPECIFIED, ARE TO FACE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING ANY PORTION OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULT OF ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE CONTRACTOR'S OBLIGATION TO NOTIFY THE ARCHITECT BEFORE CONSTRUCTION FOR FABRICATION OF THE WORK.

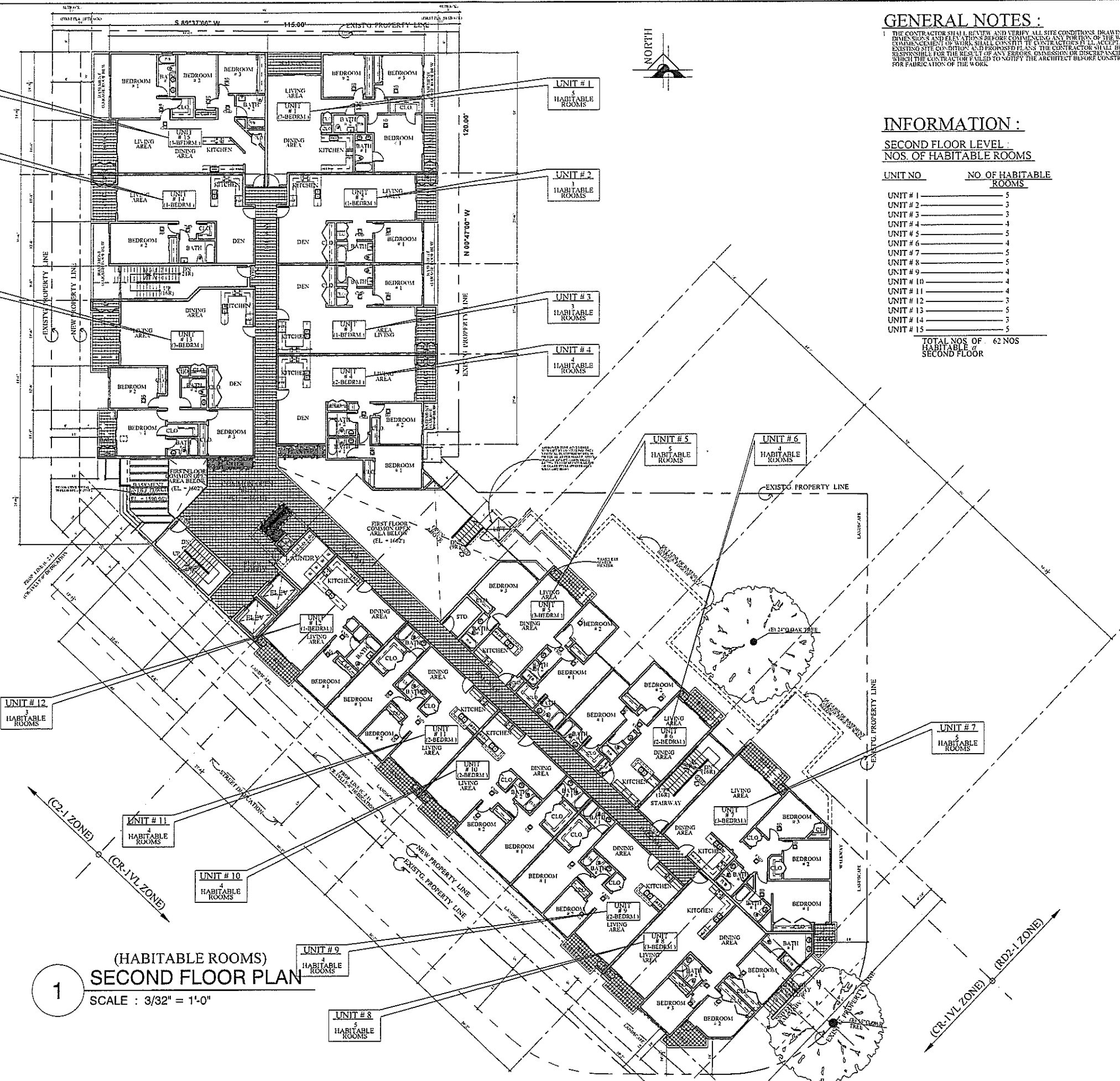
V J & ASSOCIATES
building design + planning + interior
1224 E. BROADWAY, SUITE 202,
Glendale, CA 91205
(818) 956-0570

PROJ. TITLE: **PROPOSED 3-STORY 46-UNITS
APARTMENT BUILDING**
PROJ. ADDR: 7577 W. FOOTHILL BLVD., TULINGA, CA. 91042
OWNER: 7577 FOOTHILL LLC CO VABOUJ KEOSHSAN
7577 W. FOOTHILL BLVD., THIRNIA, CA 91422

DRAWING TITLE:
PROPOSED FIRST FLOOR PLAN

DRAWN BY: NEIL A. 08-05-21
CHECKED BY: V. J. 08-05-21
APPROVED BY:

SCALE: 3/32" = 1'-0"
SHEET NO:
AD-1



GENERAL NOTES :
 1. THE CONTRACTOR SHALL REVIEW AND VERIFY ALL SITE CONDITIONS, DRAWING DIMENSIONS AND ELEVATIONS BEFORE COMMENCING ANY PORTION OF THE WORK. COMMENCEMENT OF WORK SHALL CONSTITUTE ACCEPTANCE BY THE CONTRACTOR OF THE EXISTING SITE CONDITIONS AND PROPOSED PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULT OF ANY ERRORS, OMISSIONS OR DISCREPANCIES WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT BEFORE CONSTRUCTION FOR FABRICATION OF THE WORK.

INFORMATION :

SECOND FLOOR LEVEL :
NOS. OF HABITABLE ROOMS

UNIT NO	NO. OF HABITABLE ROOMS
UNIT # 1	5
UNIT # 2	3
UNIT # 3	3
UNIT # 4	4
UNIT # 5	5
UNIT # 6	4
UNIT # 7	5
UNIT # 8	5
UNIT # 9	4
UNIT # 10	4
UNIT # 11	4
UNIT # 12	3
UNIT # 13	5
UNIT # 14	3
UNIT # 15	5
TOTAL NOS. OF HABITABLE ROOMS	62 NOS

ALL SCALE, DIMENSIONS, AND NOTATIONS ARE TO BE USED UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS OF THE SITE AND THE EXISTING BUILDING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULT OF ANY ERRORS, OMISSIONS OR DISCREPANCIES WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT BEFORE CONSTRUCTION FOR FABRICATION OF THE WORK.

V J & ASSOCIATES
 building design • planning • interior
 1224 E. BROADWAY, SUITE 202,
 Glendale, CA 91205
 (818) 956-0370

PROJ. TITLE: PROPOSED 3-STORY 46-UNITS APARTMENT BUILDING
PROJ. ADDR: 7577 W. FOOTHILL BLVD., TUITUNGA, CA. 91042
OWNER: 7577 FOOTHILL, LLC C/O VAROJH KESSIAN 7577 W. FOOTHILL, BLVD., TUITUNGA, CA 91042

DRAWING TITLE: SECOND FLR. PLAN (HABITABLE ROOMS)

DRAWN BY: NEIL A. 07-28-21
CHECKED BY: V. J. 07-28-21
SCALE: 3/32" = 1'-0"
REVISION: AD-2

SECOND FLR. HABITABLE AREA :

UNIT # 1	1,555 SQ. FT.
UNIT # 2	1,023 SQ. FT.
UNIT # 3	1,048.5 SQ. FT.
UNIT # 4	1,338 SQ. FT.
UNIT # 5	1,342 SQ. FT.
UNIT # 6	993 SQ. FT.
UNIT # 7	1,477 SQ. FT.
UNIT # 8	1,515 SQ. FT.
UNIT # 9	1,199.5 SQ. FT.
UNIT # 10	1,199.5 SQ. FT.
UNIT # 11	1,199.5 SQ. FT.
UNIT # 12	903 SQ. FT.
UNIT # 13	1,869 SQ. FT.
UNIT # 14	1,026.5 SQ. FT.
UNIT # 15	1,547 SQ. FT.
TOTAL SECOND FLR. HABITABLE AREA	19,235.5 SQ. FT.

SECOND FLOOR LEVEL :
NOS. OF BEDROOMS

UNIT NO	NO. OF BEDROOMS
UNIT # 1	3
UNIT # 2	1
UNIT # 3	1
UNIT # 4	2
UNIT # 5	3
UNIT # 6	2
UNIT # 7	3
UNIT # 8	3
UNIT # 9	2
UNIT # 10	2
UNIT # 11	2
UNIT # 12	1
UNIT # 13	3
UNIT # 14	1
UNIT # 15	3
TOTAL NOS. OF BEDROOMS	52 NOS

SECOND FLOOR

(HABITABLE ROOMS) SECOND FLOOR PLAN
 SCALE : 3/32" = 1'-0"

GENERAL NOTES :

1. THE CONTRACTOR SHALL REVIEW AND VERIFY ALL SITE CONDITIONS, DRAWING DIMENSIONS AND EXISTING CONDITIONS FOR PORTION OF THE WORK. COMPLETE LIST OF WORK SHALL CONSTITUTE CONTRACTOR'S FULL ACCEPTANCE OF EXISTING SITE CONDITIONS AND PROPOSED PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULT OF ANY ERRORS (OMISSIONS OR DISCREPANCIES) WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT BEFORE CONSTRUCTION FOR FABRICATION OF THE WORK.

INFORMATION :

**THIRD FLOOR LEVEL :
NOS. OF HABITABLE ROOMS**

UNIT NO	NO OF HABITABLE ROOMS
UNIT # 1	4
UNIT # 2	3
UNIT # 3	3
UNIT # 4	4
UNIT # 5	5
UNIT # 6	4
UNIT # 7	5
UNIT # 8	5
UNIT # 9	4
UNIT # 10	4
UNIT # 11	4
UNIT # 12	3
UNIT # 13	5
UNIT # 14	3
UNIT # 15	4
UNIT # 16	3
TOTAL NOS. OF HABITABLE ROOMS THIRD FLOOR	63 NOS.

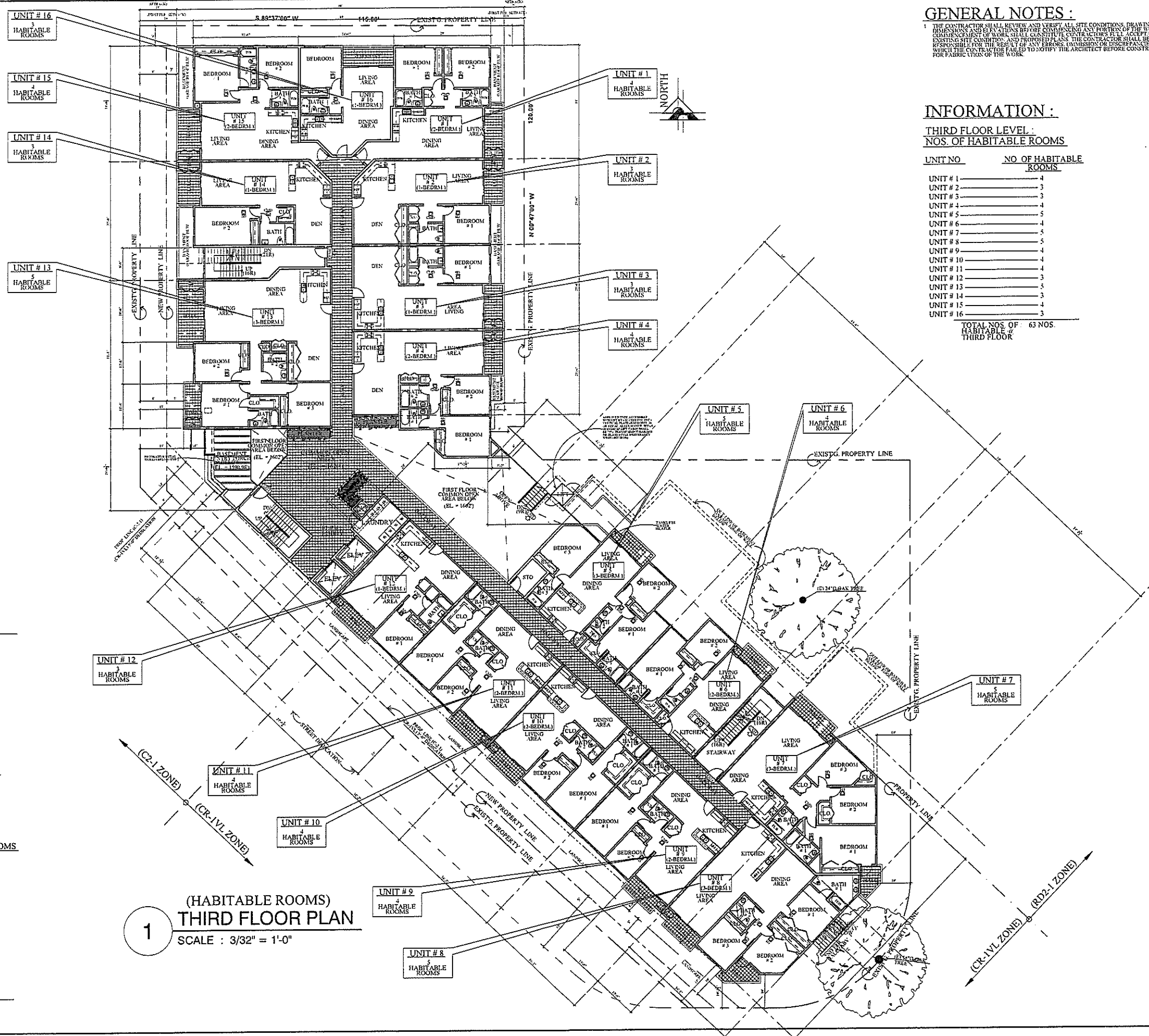
ALL SCALE, MATERIAL, FINISHES AND OTHER SPECIFICATIONS AS SPECIFIED IN THIS DRAWING SHALL BE USED UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULT OF ANY ERRORS (OMISSIONS OR DISCREPANCIES) WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT BEFORE CONSTRUCTION FOR FABRICATION OF THE WORK.

V J & ASSOCIATES
building design • planning • interior
 1224 E. BROADWAY, SUITE 202,
 Glendale, CA 91205
 (818) 956-0570

PROPOSED 3-STORY 46-UNITS APARTMENT BUILDING
 PROJ. TITLE: 7577 W. FOOTHILL BLVD., TUIJUNGA, CA. 91042
 PROJ. ARCH: 7577 W. FOOTHILL BLVD., TUIJUNGA, CA. 91042
 OWNER: 7577 W. FOOTHILL BLVD., TUIJUNGA, CA. 91042

DRAWING TITLE:
PROPOSED THIRD FLR. PLAN

DESIGNED BY	NEIL A.	07-28-21
CHECKED BY	V. J.	07-28-21
APPROVED BY		
SCALE	3/32" = 1'-0"	
SHEET NO.	AD-3	



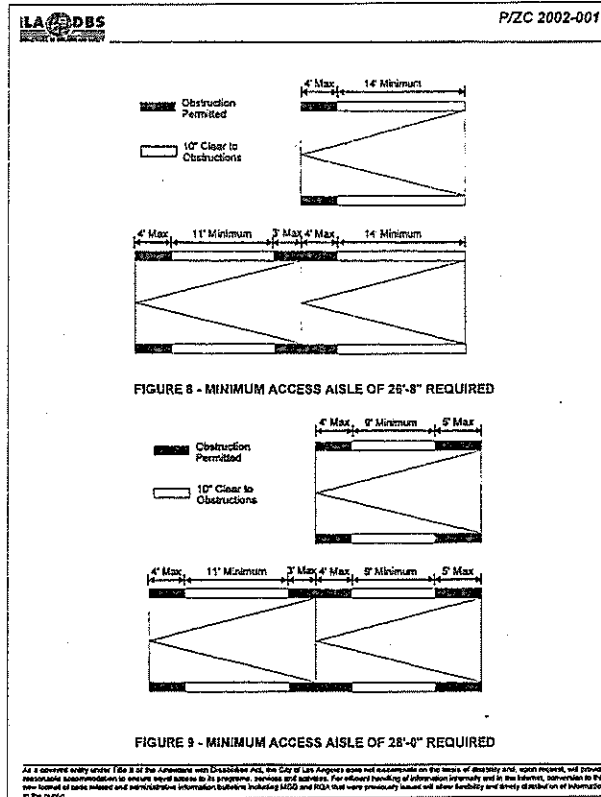
THIRD FLR. HABITABLE AREA :

UNIT # 1:	1,043.5 SQ. FT.
UNIT # 2:	1,028 SQ. FT.
UNIT # 3:	1,048.5 SQ. FT.
UNIT # 4:	1,338 SQ. FT.
UNIT # 5:	1,342 SQ. FT.
UNIT # 6:	993 SQ. FT.
UNIT # 7:	1,477 SQ. FT.
UNIT # 8:	1,515 SQ. FT.
UNIT # 9:	1,199.5 SQ. FT.
UNIT # 10:	1,199.5 SQ. FT.
UNIT # 11:	1,199.5 SQ. FT.
UNIT # 12:	903 SQ. FT.
UNIT # 13:	1,869 SQ. FT.
UNIT # 14:	1,031 SQ. FT.
UNIT # 15:	1,136.5 SQ. FT.
UNIT # 16:	852.5 SQ. FT.
TOTAL THIRD FLR. HABITABLE FLR. AREA	19,175.5 SQ. FT.

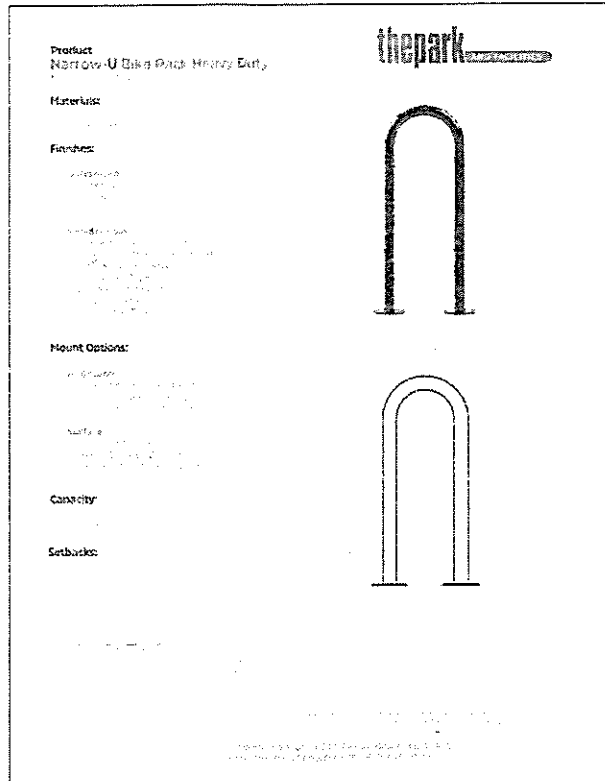
**THIRD FLOOR LEVEL :
NOS. OF BEDROOMS**

UNIT NO.	NO. OF BEDROOMS
UNIT # 1	2
UNIT # 2	1
UNIT # 3	1
UNIT # 4	2
UNIT # 5	3
UNIT # 6	2
UNIT # 7	3
UNIT # 8	3
UNIT # 9	2
UNIT # 10	2
UNIT # 11	2
UNIT # 12	1
UNIT # 13	3
UNIT # 14	1
UNIT # 15	2
UNIT # 16	1
TOTAL NOS. OF BEDROOMS @ THIRD FLOOR	31 NOS.

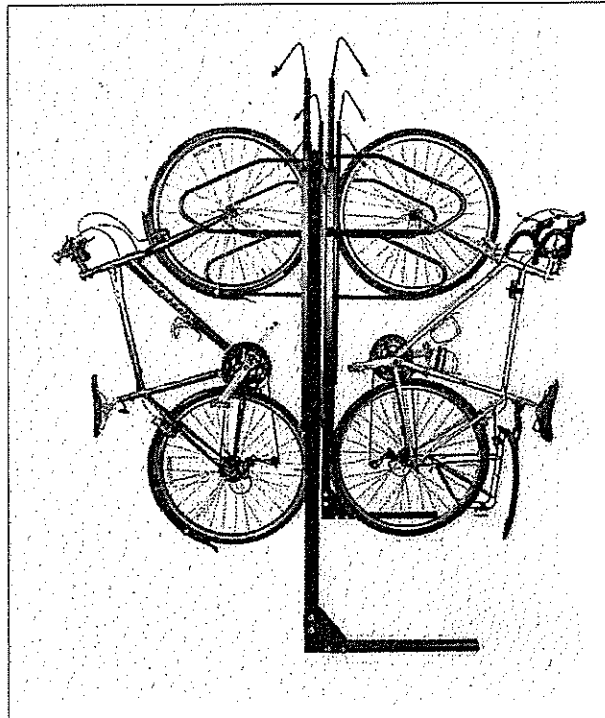
**(HABITABLE ROOMS)
THIRD FLOOR PLAN**
 SCALE : 3/32" = 1'-0"



4 (PARKING) MIN. ACCESS AISLE OF 28'-0" REQUIRED NOT TO SCALE

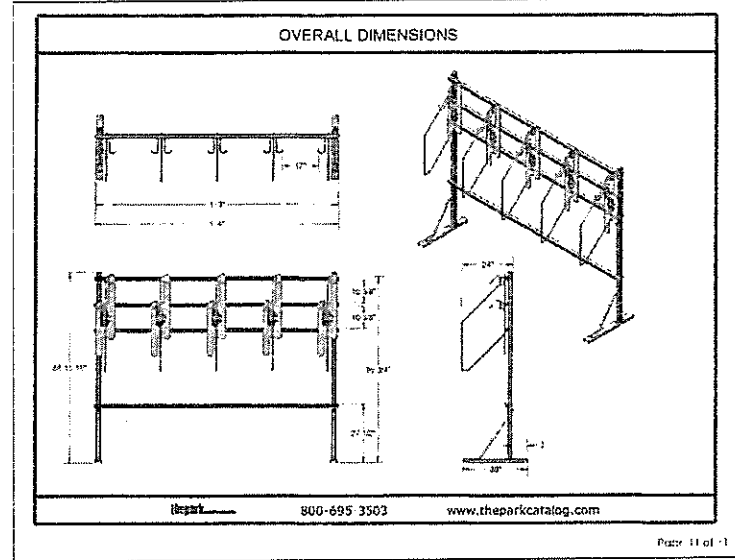


2 TYP. BICYCLE RACK PARKING DET. NOT TO SCALE

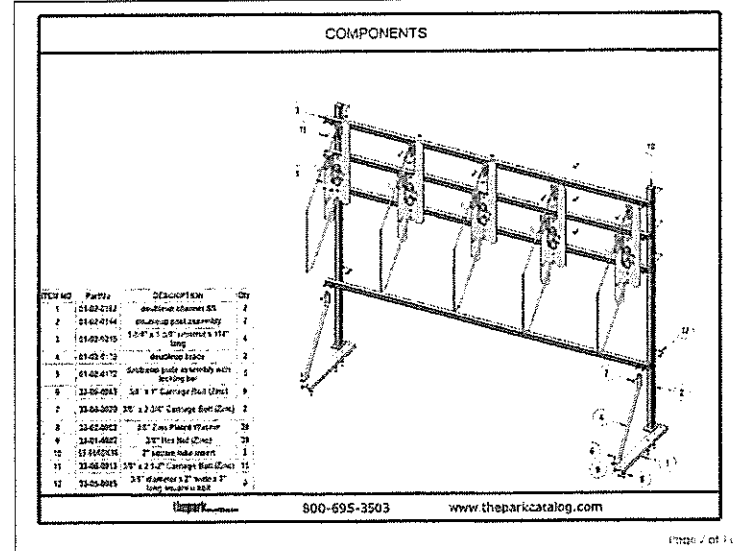


BIKE RACKS SPECIFICATIONS:
 FREE STANDING / DOUBLE SIDED
 6 - 18 BIKE CAPACITY
 BIKE SPACING: 18" - CEILING HEIGHT: 84"
 FLOOR MOUNT
 NON LOCKING OR LOCKING

1b TYP. BICYCLE RACK PARKING DET. NOT TO SCALE



1 TYP. BICYCLE RACK PARKING DET. NOT TO SCALE



1a TYP. BICYCLE RACK PARKING DET. NOT TO SCALE

V J & ASSOCIATES
 building design + planning + interior

PROPOSED 3-STORY 46-UNITS APARTMENT BUILDING

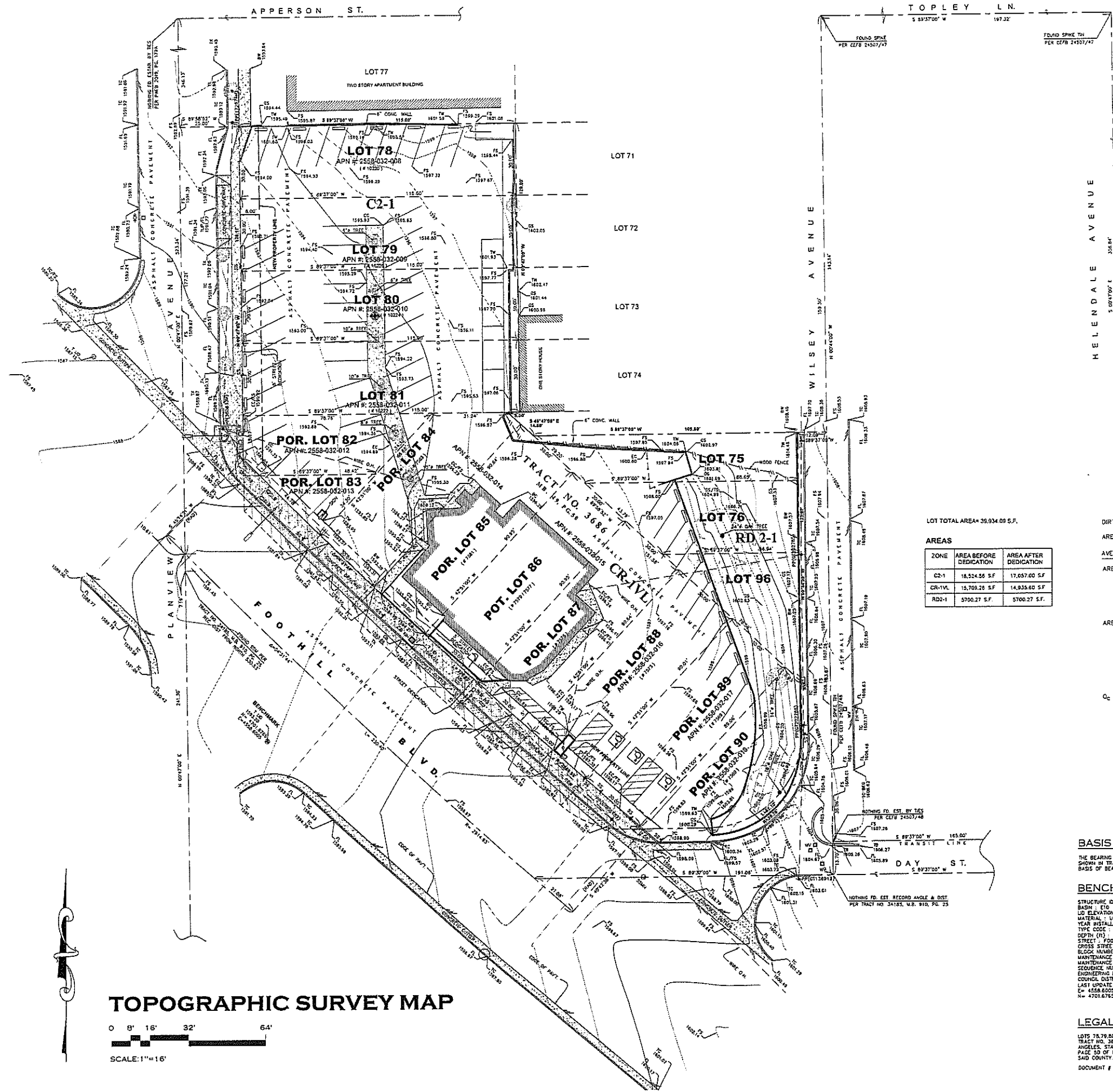
1224 E. BROADWAY, SUITE 202, Glendale, CA 91205 (818) 956-0570

PROJ. TITLE: PROPOSED 3-STORY 46-UNITS APARTMENT BUILDING
 PROJ. ADDR: 7577 W. FOOTHILL BLVD., TUNINGA, CA. 91042
 OWNER: 7577 W. FOOTHILL BLVD., TUNINGA, CA. 91042

TYP. BICYCLE RACKS PARKING DETAIL

DESIGNED BY: NEIL A. 07-28-21
 CHECKED BY: V. J. 07-28-21
 APPROVED BY:

SCALE: 3/32" = 1'-0"
 SHEET NO: AD-4



TOPOGRAPHIC SURVEY MAP
 0 8' 16' 32' 64'
 SCALE: 1"=16'

LEGEND

---	CENTER LINE
- - - -	PROPERTY LINE
- - - -	CHAIN-LINK FENCE
- - - -	WOOD FENCE
- - - -	W/1 FENCE (WROUGHT IRON FENCE)
- - - -	LOT LINE
- - - -	GAS LINE
- - - -	SEWER LINE
- - - -	WATER LINE
- - - -	OVER-HEAD TELEPHONE CABLE
- - - -	WOOD WALL
- - - -	CONC. WALL
- - - -	EDGE OF PAVT
- - - -	ASPHALT CONCRETE
- - - -	GR. CONDITIONING UNIT
- - - -	CONCRETE CEMENT
- - - -	CONCRETE CEMENT CURB
- - - -	BATTING DRAIN
- - - -	BACK OF WALK/BOTTOM WALL
- - - -	BASEBALL BACKSTOP
- - - -	CATCH BASIN
- - - -	CENTERLINE
- - - -	CHAIN LINK FENCE
- - - -	CONTROL VALVE
- - - -	COLEMAN LINE
- - - -	DRAINAGE VAULT
- - - -	DRAINAGE OUTLET
- - - -	DOOR
- - - -	DRIVEWAY
- - - -	DOWNSPOUT
- - - -	ELECTRIC BOX
- - - -	EDGE OF PAVEMENT
- - - -	ELECTRIC TRANSFORMER
- - - -	ELECTRIC VAULT
- - - -	FLOOR DRAIN
- - - -	FLOW LINE
- - - -	FIRE HYDRANT
- - - -	FENCE
- - - -	FLAPPOLE / FIRE PLACE
- - - -	FRESH SURFACE
- - - -	FIRE WATER VALVE
- - - -	GROUND SHEET
- - - -	GAS VALVE/GATE VALVE
- - - -	CUT WIRE ANCHOR
- - - -	IRIGATION BOX CONTROL
- - - -	JOB
- - - -	LIGHT POLE
- - - -	MANHOLE
- - - -	METAL
- - - -	NEWS BOX
- - - -	PROPERTY LINE
- - - -	POWER POLE
- - - -	PALE BOX
- - - -	SAINTARY SEWAGE CLEANOUT
- - - -	STREET SIGN/STOP SIGN
- - - -	STORM DRAIN CATCH BASIN
- - - -	STORM DRAIN MANHOLE
- - - -	STREET LIGHT BOX
- - - -	TOP OF CURB
- - - -	TOP OF WALL
- - - -	TOP OF "X"
- - - -	UNDERGROUND ACCESS
- - - -	WATER BB
- - - -	WATER METER
- - - -	WATER VALVE
- - - -	RECORD DISTANCE
- - - -	MEASURED DISTANCE
- - - -	CALCULATED DISTANCE
- - - -	MEASURED AND CALCULATED
- - - -	POWER POLE
- - - -	CUT WIRE ANCHOR
- - - -	CATCH BASIN
- - - -	SSM (SAINTARY SEWER MANHOLE)
- - - -	OR UTILITY MANHOLE
- - - -	TREE
- - - -	OAK TREE
- - - -	PINE TREE
- - - -	PALM TREE
- - - -	YUCCA TREE
- - - -	GAS METER
- - - -	FIRE HYDRANT
- - - -	PP/ELECTRODER
- - - -	VALVE (UTILITY)
- - - -	METER
- - - -	VERTICAL & HORIZONTAL CONTROL POINT
- - - -	MONUMENTS
- - - -	MONUMENT FD. OR SET (AS NOTED)

AVERAGE SLOPE CALCULATION

AVERAGE SLOPE = $\frac{C \times L}{A \times 100}$

WHERE: S = AVERAGE NATURAL SLOPE
 C = CONTOUR INTERVAL
 L = TOTAL LENGTH OF CONTOUR INTERVAL
 A = TOTAL LOT AREA IN SQ. FT.

C = 2.00 FEET
 L = 1227.77 FEET
 A = 39,924 SQ. FT.

S = $\frac{2 \times L}{A \times 100}$
 S = $\frac{2(1227.77)}{39,924 \times 100}$
 S = 6.45 %

I (INTERVAL)	L (LENGTH) IN (FEET)
1592	136.16
1584	197.00
1598	182.00
1588	200.00
1600	129.91
1602	120.00
1604	151.00
1608	111.70
TOTAL	1287.77

LOT TOTAL AREA = 35,934.00 S.F.

AREAS

ZONE	AREA BEFORE DEDICATION	AREA AFTER DEDICATION
C2-1	18,524.56 S.F.	17,057.00 S.F.
CR-VL	15,709.28 S.F.	14,935.60 S.F.
RD-1	5700.27 S.F.	5700.27 S.F.

DIRT QUANTITIES : $Q = \frac{\text{AREA} \times \text{AVERAGE CUT}}{9}$

AREA (SQ. FT.)

AVERAGE CUT (FT) : $9 = 3 \text{ C.F.} = 1 \text{ C.Y.}$

AREA = $26.5 \times 65 = 1722.5 \text{ S.F.}$

$1722.5 \times 2 = 3445 \text{ C.F.}$
 $3445 / 9 = 382.7 \text{ C.Y.}$
 = 383 C.F.

AREA 2 =

AUTOCAD 34064.3 S.F.
 AVERAGE CUT = 4 FT.
 $34064.3 \times 4 = 136,257 \text{ C.F.}$
 $136,257 / 9 = 15,139.6 \text{ C.F.}$
 = 15,140 C.F.

$Q_c \text{ TOTAL} = 383 + 15,140 = 15,523 \text{ C.Y.}$

BASIS OF BEARING

THE BEARING OF N 00°44'00" W ON WILSEY AVE. CENTERLINE AS SHOWN IN TRACT NO. 3886 W.B. 49 PAGE 50, WAS USED AS THE BASIS OF BEARING FOR THIS MAP.

BENCH MARK

STRUCTURE ID : 3864163
 BENCH : C10
 LID ELEVATION : 1593.20
 MATERIAL : LINK
 YEAR INSTALLED : 1893
 TYPIC CODE : 84
 DEPTH (IN) : 11.5
 STREET : Foothill Blvd.
 CROSS STREET : PLANVIEW AVE.
 BLOCK NUMBER : 7503
 MAINTENANCE DISTRICT : 372
 MAINTENANCE ROUTE :
 SEQUENCE NUMBER :
 ENGINEERING DISTRICT : VALLEY
 COUNCIL DISTRICT :
 LAST UPDATE : 06/29/2012
 C# : 45584005
 N# : 47016765

LEGAL DESCRIPTION

LOTS 78, 79, 80, 81 AND POR. LOTS 82, 83, 84, 85, 86, 87, 88, 89, & 90 OF TRACT NO. 3886, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 48, PAGE 50 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

DOCUMENT # : 20150612765

SURVEYOR'S CERTIFICATE

I HEREBY STATE THAT I AM A REGISTERED LAND SURVEYOR OF THE STATE OF CALIFORNIA, THAT THIS MAP CONSISTING OF 1 SHEET CORRECTLY REPRESENTS A SURVEY MADE UNDER MY SUPERVISION, THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THEIR POSITIONS ARE CORRECTLY SHOWN. THIS SURVEY DOES NOT INCLUDE ELEMENTS EXCEPT THOSE SPECIFICALLY DELINEATED HEREON.

RAY LOMBERA P.L.S. #7740

DATE

REVISIONS:

Ray Lombera & Associates, Inc.
 Land Surveying Planning Land Development
 5015 EAGLE ROCK BLVD. STE. 210, LOS ANGELES, CALIFORNIA 90041
 TEL. (323) 257-9771 FAX. (323) 257-9865 WWW.RAYLOMBERA.COM



7-29-2020

JOB ADDRESS:
 7577 FOOTHILL BLVD.
 LOS ANGELES, CA 91042

REQUESTED BY:
 VAROUJ KEOSSEIAN

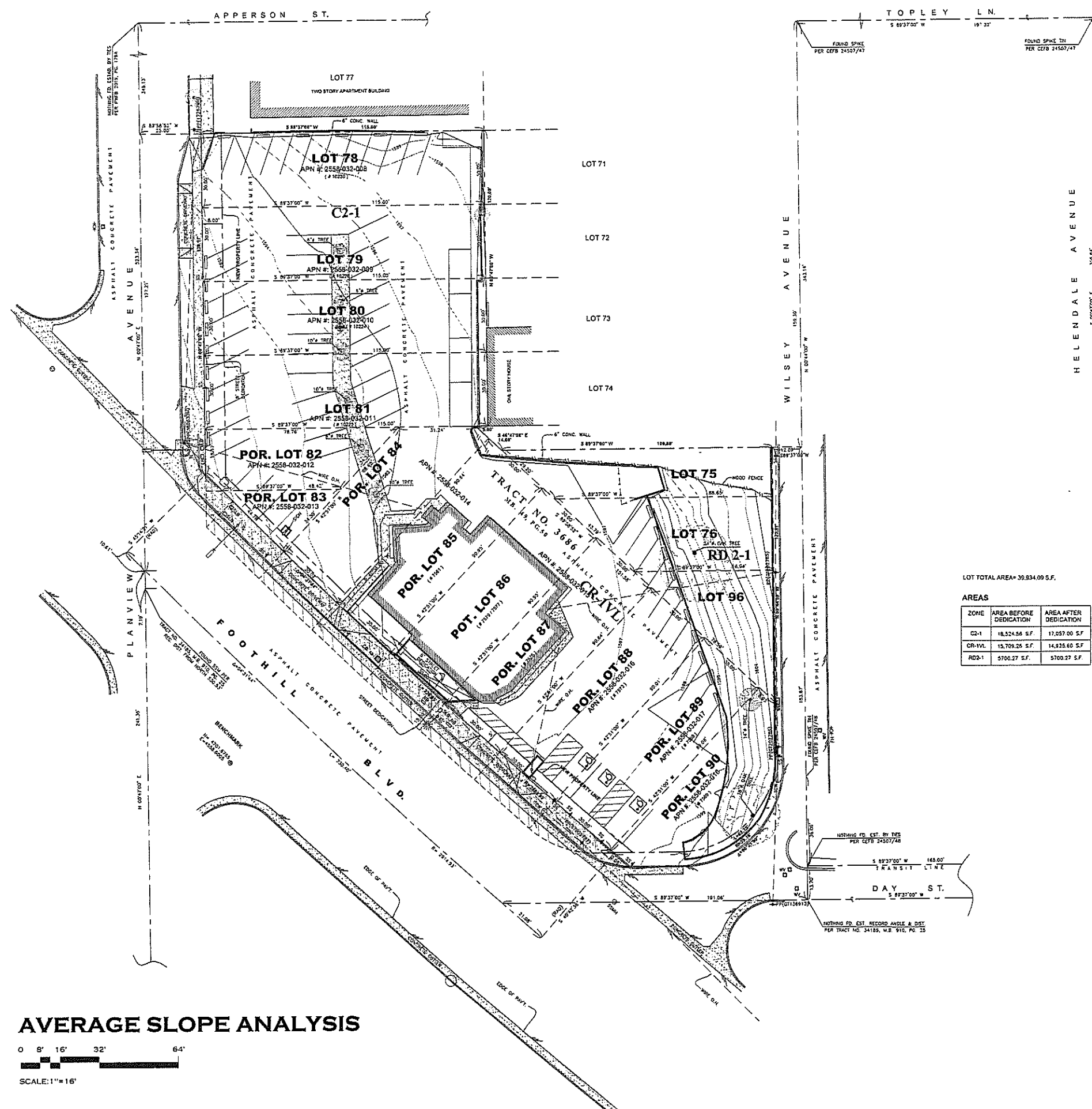
CHECKED BY:
 R.L.

DRAWN BY:
 R.O.P.

DATE:
 SEPT. 14, 2015

SCALE:
 1"=16'-0"

SHEET NO.
C-1
 SHEET 1 OF 1



AVERAGE SLOPE CALCULATION

AVERAGE SLOPE = $\frac{C \times L}{A \times 100}$

WHERE: S = AVERAGE NATURAL SLOPE
 C = CONTOUR INTERVAL
 L = TOTAL LENGTH OF CONTOUR INTERVAL
 A = TOTAL LOT AREA IN SQ. FT.

C = 2.00 FEET TOTAL LOT AREA = 39,934 SQ. FT.
 L = 1267.77 FEET
 A = 39,934 SQ. FT.

S = $\frac{C \times L}{A}$
 S = $\frac{2 \times 1267.77}{39,934}$
 S = 6.45 %

I (INTERVAL)	L (LENGTH) IN (FEET)
1592	136.16
1594	167.00
1596	182.00
1598	200.00
1600	158.91
1602	170.00
1604	181.00
1606	111.70
TOTAL	1267.77

LOT TOTAL AREA = 39,934.09 S.F.

AREAS

ZONE	AREA BEFORE DEDICATION	AREA AFTER DEDICATION
C2-1	18,524.86 S.F.	17,057.00 S.F.
CR-1V1	15,709.26 S.F.	14,825.60 S.F.
RD-2-1	9700.27 S.F.	5700.27 S.F.

BASIS OF BEARING

THE BEARING OF N 00°44'00" IN ON WILSEY AVE. CENTERLINE AS SHOWN IN TRACT NO. 3686 M.B. 49 PAGE 50, WAS USED AS THE BASIS OF BEARING FOR THIS MAP.

BENCH MARK

STRUCTURE NO : 38604163
 BENCH : 610
 LID ELEVATION : 1593.20
 MATERIAL : CONK
 YEAR INSTALLED : 1993
 TYPE CODE : MH
 DEPTH (IN) : 11.5
 STREET : FOOTHILL BLVD.
 CROSS STREET : PLANVIEW AVE.
 BLOCK NUMBER : 7500
 MAINTENANCE DISTRICT : 372
 MAINTENANCE ROUTE :
 SEQUENCE NUMBER :
 ENGINEERING DISTRICT : VALLEY
 COUNCIL DISTRICT : 7
 LAST UPDATE : 06/29/2012
 E = 4538.6205
 N = 4701.6765

LEGAL DESCRIPTION

LOTS 75, 76, 80, 81 AND POR. LOTS 82, 83, 84, 85, 86, 87, 88, 89, & 90 OF TRACT NO. 3686, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 49, PAGE 50 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

DOCUMENT # : 20150643785



REVISIONS:

Ray Lombera & Associates, Inc.
 Land Surveying Planning Land Development
 5015 EAGLE ROCK BLVD. STE. 210, LOS ANGELES, CALIFORNIA 90041
 TEL (323) 257-9771 FAX (323) 257-9865 WWW.RAYLONBERA.COM

JOB ADDRESS:
 7577 FOOTHILL BLVD.
 LOS ANGELES, CA 91042

REQUESTED BY:
 VAROLUJ KEOSSEIAN

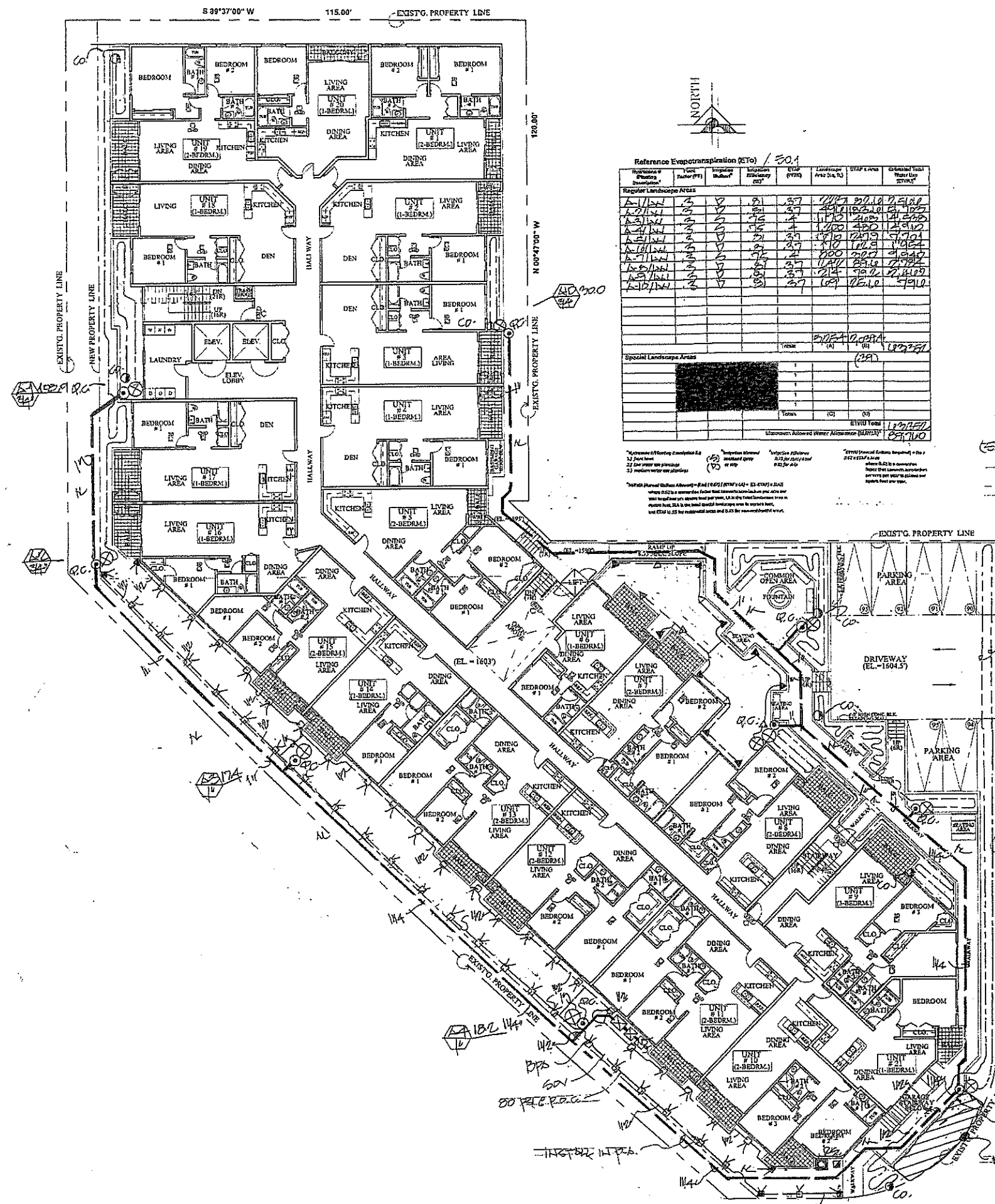
CHECKED BY:
 R.L.

DRAWN BY:
 R.D.P.

DATE:
 JULY 8, 2020

SCALE:
 1"=16'-0"

SHEET NO.
C-1
 SHEET 1 OF 1



Reference Evapotranspiration (ET_o) / 50.1

Reference Area	Plant Species	Plant Factor (PF)	Plant Height (ft)	Plant Spacing (ft)	ET _o (ET _o × PF)	ET _o (ET _o × PF)	ET _o (ET _o × PF)
Regular Landscape Areas							
A-1/12	3	0.5	3.7	12.0	1.875	1.875	1.875
A-2/12	3	0.5	3.7	12.0	1.875	1.875	1.875
A-3/12	3	0.5	3.7	12.0	1.875	1.875	1.875
A-4/12	3	0.5	3.7	12.0	1.875	1.875	1.875
A-5/12	3	0.5	3.7	12.0	1.875	1.875	1.875
A-6/12	3	0.5	3.7	12.0	1.875	1.875	1.875
A-7/12	3	0.5	3.7	12.0	1.875	1.875	1.875
A-8/12	3	0.5	3.7	12.0	1.875	1.875	1.875
A-9/12	3	0.5	3.7	12.0	1.875	1.875	1.875
A-10/12	3	0.5	3.7	12.0	1.875	1.875	1.875
A-11/12	3	0.5	3.7	12.0	1.875	1.875	1.875
A-12/12	3	0.5	3.7	12.0	1.875	1.875	1.875
Special Landscape Areas							
(A)							
(B)							
(C)							
(D)							
(E)							
(F)							
(G)							
(H)							
(I)							
(J)							
(K)							
(L)							
(M)							
(N)							
(O)							
(P)							
(Q)							
(R)							
(S)							
(T)							
(U)							
(V)							
(W)							
(X)							
(Y)							
(Z)							

SPRINKLER HEADS

SYMBOL	DESCRIPTION	MODEL NO.	CAP.	PSI	PSI
▽	RAINBIRD POP W/ GPF	1812-10-NRZ	1.0	10'	30
▽	" " " " " " " "	1812-10-NRZ	1.5	10'	30
▽	" " " " " " " "	1812-10-NRZ	1.5	10'	30
▽	" " " " " " " "	1812-10-NRZ	1.5	10'	30

FRID EXHIBITS

SYMBOL	DESCRIPTION	MODEL NO.	CAP.	PSI
▽	RAINBIRD POP LINE	XPS-DU-12302	1.0	30
▽	SH-WATERS 1/2" PIP		1.0	30

(E-1) (R-1) (L-1) (S-1) (D-1) (F-1)

N-1 = 897100-GPY
E-1 = 69,352-GPY

- LEGEND**
- ⊗ WATER BARED CONTROLLER (RAISED 1/2" ABOVE FINISH)
 - ⊗ MAIN SENSOR (RAISED 1/2" ABOVE FINISH)
 - ⊗ BACKFLOW PREVENTER (FEMCO 825-T-13')
 - ⊗ QUICK COUPLER (RAISED 4" ALC)
 - ⊗ VALVE RAISED (RAISED 4" ALC)
 - ⊗ VALVE NO. 1 GPF
 - ⊗ VALVE SIZE
 - RAINLINE / SCHED. 40 PVC
 - LATERAL LINE / SCHED. 40 PVC
 - ⊗ SHUT-OFF VALVE
 - ⊗ IRRIGATION SCHED.
 - ⊗ CLEANOUT

CHECK VALVES OR AIR-LEAK VALVES ARE REQUIRED ON ALL SPRINKLER HEADS UNDER LOW POINT DRAINAGE OR SCHED.

SHUT-OFF VALVES SHALL BE PROVIDED, AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION TO THE WATER SUPPLY, TO PERMIT WATER LOSS IN CASE OF EMERGENCY OR SERVICE REPAIR.

PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES.

A DIAGRAM OF THE IRRIGATION PLAN, SHOWING HEADLOCATIONS SHALL BE SUBMITTED WITH THE IRRIGATION CONTRACTOR FOR CONSTRUCTION AND RECORD PURPOSES.

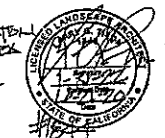
A CERTIFICATION OF COMPLETION SHALL BE FILLED OUT AND SUBMITTED BY EITHER DESIGNER OF THE LANDSCAPE PLAN, IRRIGATION ENGINEER OR THE IRRIGATION CONTRACTOR FOR THE PROJECT.

AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF INSTALLATION.

AT THE TIME OF THE FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROJECT WITH A CERTIFICATE OF COMPLETION, CERTIFICATION OF INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.

RETRACTING WATER SYSTEMS SHALL BE USED FOR WATER TREATMENT.

IRRIGATION PLAN



LARRY G. TISON & ASSOCIATES
LARRY G. TISON, A.S.L.A.
LANDSCAPE ARCHITECTURE
314 E. BROADWAY, SUITE D, GLENDALE, CALIFORNIA 91205
626-241-9149

V J & ASSOCIATES
building design • planning • interior

1224 E. BROADWAY, SUITE 202,
GLENDALE, CA 91205
(818) 950-0570

PROJ. TITLE: PROPOSED 3-STORY 63-UNITS APARTMENT BUILDING

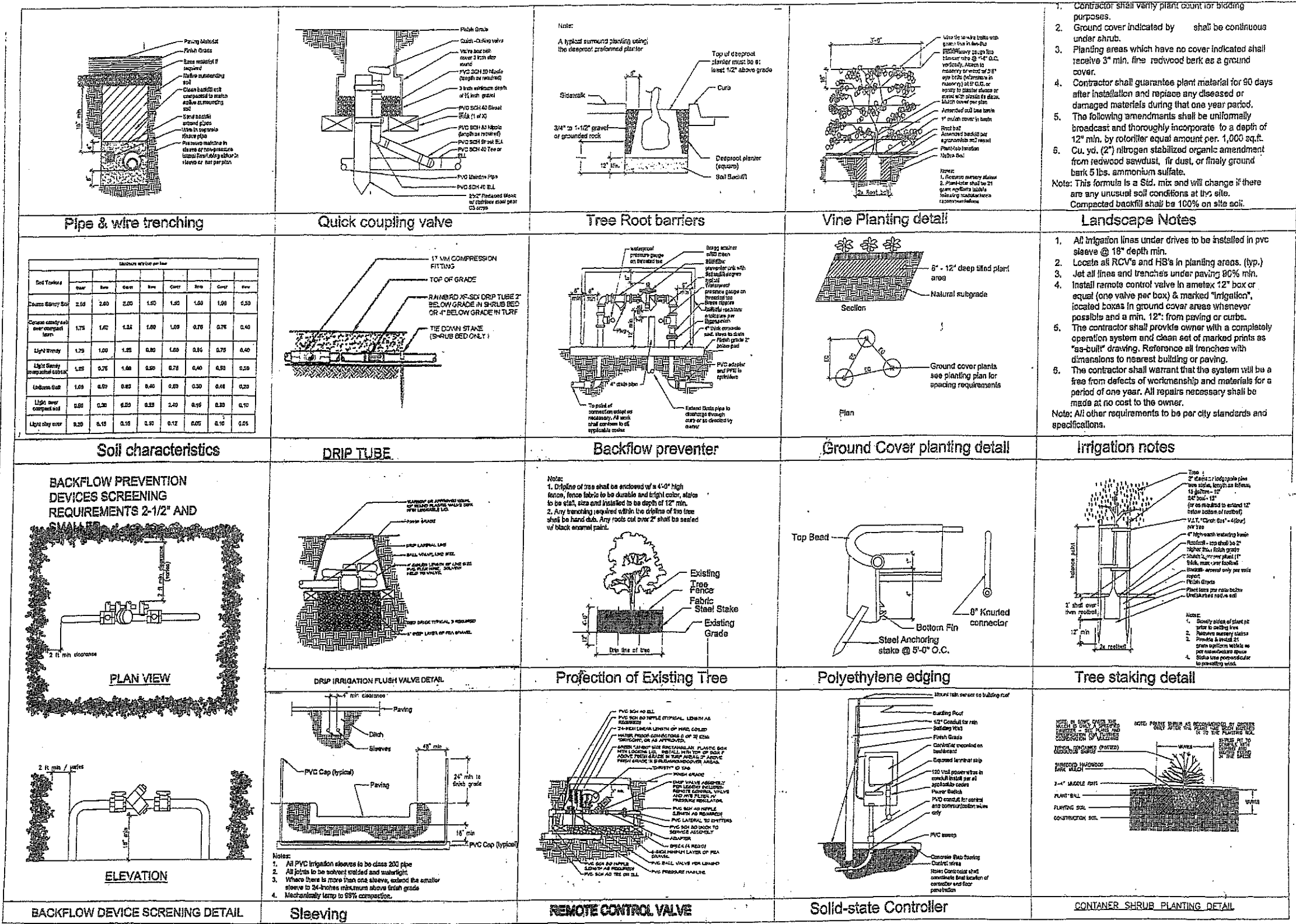
PROJ. ADDR: 7577 W. FOOTHILL BLVD., TUNINGA, CA, 91042

OWNER: 7577 FOOTHILL, LLC C/O VARODI KEUSSIAN 7577 W. FOOTHILL BLVD., TUNINGA, CA 91042

DRAWING TITLE:

DRAWN BY:	Lot	02/20
CHECKED BY:	EL	
APPROVED BY:	Lot	
SCALE:	3/32" = 1'-0"	
DATE:		

L-2



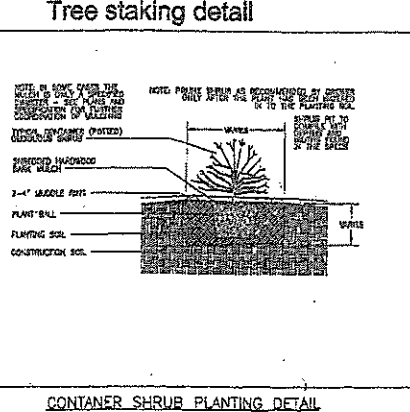
Maximum weight per hour

Soil Types	Year	Year	Year	Year	Year	Year	Year
Coarse Sandy Soil	2.58	2.20	2.00	1.80	1.60	1.50	1.40
Coarse sandy soil over compact layer	1.75	1.60	1.55	1.50	1.45	1.40	1.35
Light sandy compact soil	1.75	1.60	1.55	1.50	1.45	1.40	1.35
Light sandy uncompact soil	1.25	1.20	1.15	1.10	1.05	1.00	0.95
Uniform Soil	1.00	0.95	0.90	0.85	0.80	0.75	0.70
Light heavy compact soil	0.80	0.75	0.70	0.65	0.60	0.55	0.50
Light clay soil	0.50	0.45	0.40	0.35	0.30	0.25	0.20

1. Contractor shall verify plant count for bidding purposes.
2. Ground cover indicated by shall be continuous under shrub.
3. Planting areas which have no cover indicated shall receive 3" min. fine redwood bark as a ground cover.
4. Contractor shall guarantee plant material for 90 days after installation and replace any diseased or damaged materials during that one year period.
5. The following amendments shall be uniformly broadcast and thoroughly incorporate to a depth of 12" min. by rototiller equal amount per 1,000 sq.ft. Cu. yd. (2") nitrogen stabilized organic amendment from redwood sawdust, fir dust, or finely ground bark 5 lbs. ammonium sulfate.
- Note: This formula is a Std. mix and will change if there are any unusual soil conditions at the site. Compacted backfill shall be 100% on site soil.

1. All irrigation lines under drives to be installed in pvc sleeve @ 18" depth min.
2. Locate all RCV's and HB's in planting areas. (typ.)
3. Jet all lines and trenches under paving 80% min.
4. Install remote control valve in ametek 12" box or equal (one valve per box) & marked "irrigation", located boxes in ground cover area whenever possible and a min. 12" from paving or curbs.
5. The contractor shall provide owner with a complete operation system and clean set of marked prints as "as-built" drawing. Reference all trenches with dimensions to nearest building or paving.
6. The contractor shall warrant that the system will be a free from defects of workmanship and materials for a period of one year. All repairs necessary shall be made at no cost to the owner.
- Note: All other requirements to be per city standards and specifications.

- Note: 1. 2" diameter polyethylene pipe, 1/2" wall, length as follows: 12' between 12" x 24" valves (12" for as installed to extend 12" below bottom of rootball) 12' x 12" (12' x 12" x 12") for 24" x 24" valves 4' High-strength weathering brass. 1/2" x 1/2" x 1/2" (1/2" x 1/2" x 1/2") stainless steel (1" thick, max. over finished) stainless steel only per valve impact. 1/2" x 1/2" x 1/2" (1/2" x 1/2" x 1/2") stainless steel. 1/2" x 1/2" x 1/2" (1/2" x 1/2" x 1/2") stainless steel.
- Note: 1. Slope of pipe to valve to be 1/4" per foot. 2. Provide a 1/2" x 1/2" x 1/2" (1/2" x 1/2" x 1/2") stainless steel valve no per manufacturer's specifications. 3. Slope line perpendicular to paving surface.



PROPOSED 3-STORY APARTMENT BUILDING

7577 W. FOOTHILL BLVD., TUNINGA, CA. 91042

7577 W. FOOTHILL BLVD., TUNINGA, CA. 91042

7577 W. FOOTHILL BLVD., TUNINGA, CA. 91042

DRIVING TITLE: [Signature]

DATE: [Signature]

APPROVED BY: [Signature]

SHEET NO. L-3

DETAIL PLAN

LARRY G. TISON & ASSOCIATES
 LANDSCAPE ARCHITECTURE
 314 E. BROADWAY, SUITE D, GLENDALE, CALIFORNIA 91205
 626-241-9169





Day St

7577



**VARTAN JANGOZIAN &
ASSOCIATES**
design • planning • interior

PHOTO SURVEY MAP
7577 FOOTHILL BLVD TUJUNGA, CA 91042

2558 | SHEET 1
SCALE 1" = 60'

2005



Revised
2-5-60
68022
83178544-04
280570922

FOR PREV. ASSMKT. SEE:
2558-32

ASSESSOR'S MAP
COUNTY OF LOS ANGELES, CALIF.

PHOTO SURVEY MAP
7577 FOOTHILL BLVD TUJUNGA, CA 91042



1. 7577 FOOTHILL BLVD, TUJUNGA, CA 91042



2. 7577 FOOTHILL BLVD, TUJUNGA, CA 91042

PHOTO SURVEY MAP
7577 FOOTHILL BLVD TUJUNGA, CA 91042



3. 7577 FOOTHILL BLVD, TUJUNGA, CA 91042



4. 7577 FOOTHILL BLVD, TUJUNGA, CA 91042

PHOTO SURVEY MAP
7577 FOOTHILL BLVD TUJUNGA, CA 91042



5. 7577 FOOTHILL BLVD, TUJUNGA, CA 91042



6. 7577 FOOTHILL BLVD, TUJUNGA, CA 91042

PHOTO SURVEY MAP



7. 10221 WILSEY AVE. TUJUNGA, CA 91042 (adjacent property)



8. 10227 WILSEY AVE. TUJUNGA, CA 91042 (adjacent property)

PHOTO SURVEY MAP



9. 10229 WILSEY AVE. TUJUNGA, CA 91042 (adjacent property)



10. 10260 PLAINVIEW AVE. TUJUNGA, CA 91042 (adjacent property)

PHOTO SURVEY MAP



11. 10260 PLAINVIEW AVE. TUJUNGA, CA 91042 (adjacent property)



12.-13. 7568-7578 FOOTHILL BLVD. TUJUNGA, CA 91042 (across Foothill)

City of Los Angeles
Department Services Center
201 N. Figueroa Street, 4th Floor
Los Angeles, CA 90012

7577 Foothill U

NEOPOST PRIORITY MAIL
11/23/2021
US POSTAGE \$008.80⁰
ZIP 90071
041M11285524

7577
Foothill

Sunland-Tujunga Neighborhood Council
P.O. Box 635
Tujunga, CA 91043-0635

UNITED STATES POSTAL SERVICE
USPS TRACKING #
9114 9023 0722 4928 9932 26
Label 400 Jan. 2013
7690-16-000-7948

CPC-2021-9909